

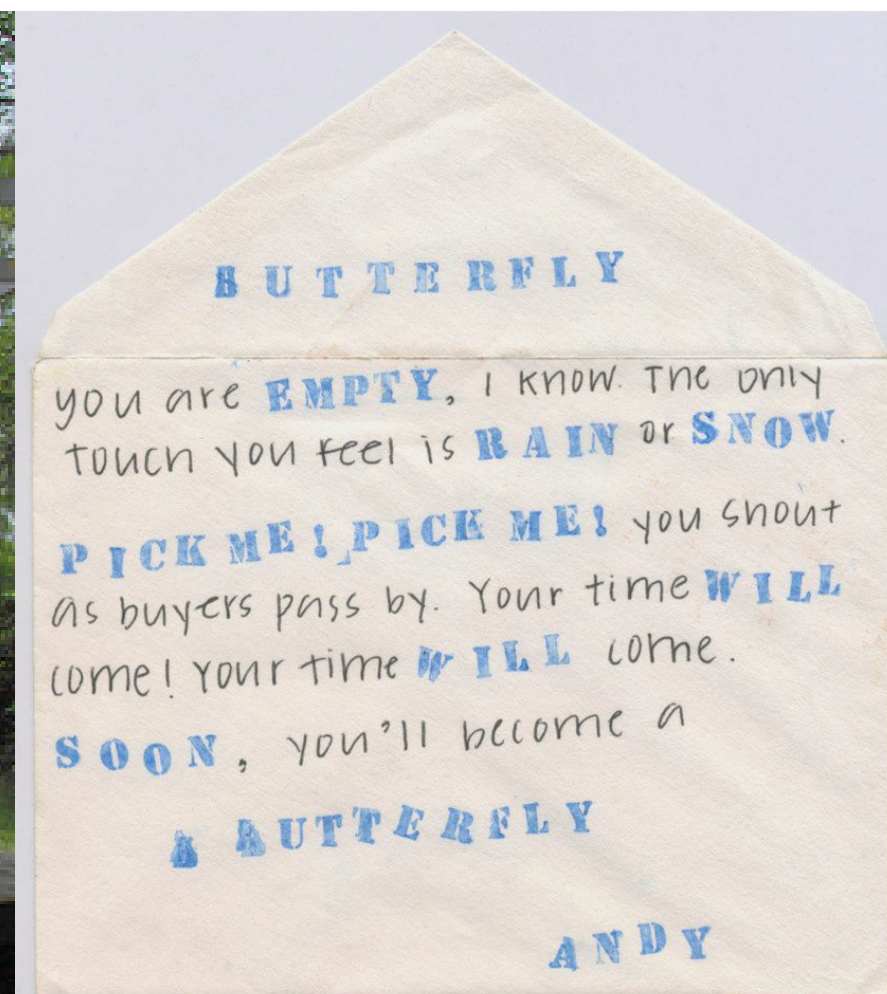


TOWARDS EQUITABLE PLACEMAKING

INCORPORATING ADAPTIVE REUSE
FOR CULTURAL SUSTAINABILITY

RESEARCH QUESTION & CONCEPT

- How can adaptive reuse alleviate displacement brought on as a result of creative placemaking initiatives?
- What can be done to ensure that urban development is economically, environmentally, socially, and most importantly, culturally sustainable?
- Who is already implementing creative placemaking in an equitable manner and how?



KEYWORDS

adaptive reuse
creative placemaking
placekeeping
sustainability
culture
place/space

RESEARCH METHODOLOGIES

CAPSTONE COURSES

AAD 551 **Community Cultural Development**
Bill Flood, Fall 2016

AAA 608 **Global Cities and Elevated Parks**
Christoph Lindner, Winter 2017

LITERATURE REVIEW

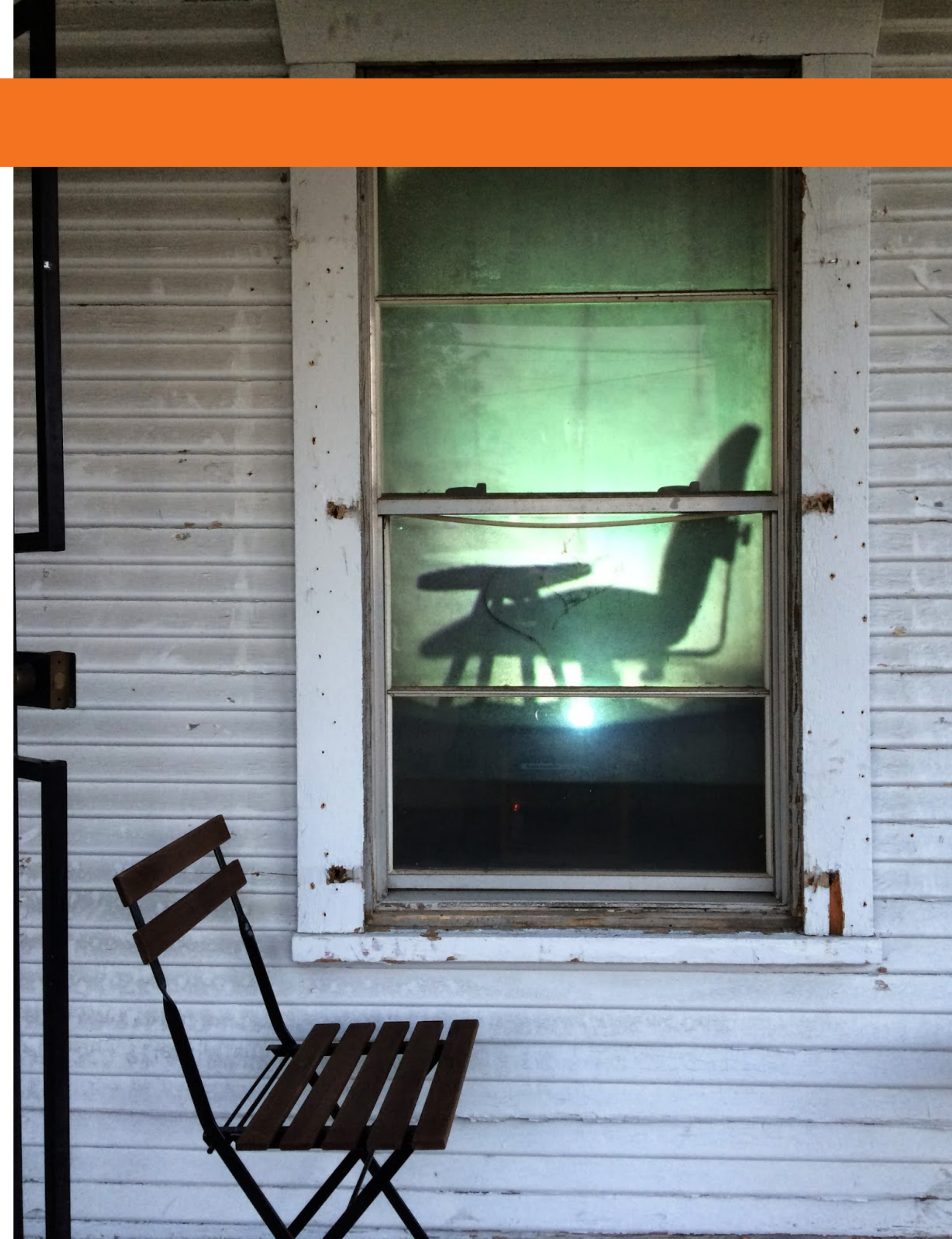
Sustainability Benefits of Adaptive Reuse

Creative Placemaking: Authenticity and
the Gritty Realities of Urban Development

CASE STUDIES

The **ART**ery
Milwaukee, WI

Activating Vacancy
Dallas, TX



SUSTAINABILITY BENEFITS OF ADAPTIVE REUSE

ADAPTIVE REUSE “a process that changes a disused or ineffective item into a new item that can be used for a different purpose” (Australian Department of the Environment and Heritage, 2004, p. 3).

“A sustainable society depends upon a sustainable culture. If a society’s culture disintegrates, so will everything else” (Hawkes, 2001, p. 12).

4 PILLARS OF SUSTAINABILITY



ECONOMIC	ENVIRONMENTAL	SOCIAL	CULTURAL
Reuse is cheaper than demolition	Passive design strategies in older buildings	Object permanence	Preserves history
Reuse increases property value	Reuse doesn't waste embodied energy	Provides a sense of belonging or dis-belonging	Celebrates localized aesthetics
Occupancy provides taxable revenue	Materials are better quality	Strenghtens local economy	Promotes diversity of people and building use

PLACEtaking PLACEmaking PLACEkeeping





CASE STUDY: THE ARTERY

LOCATION Milwaukee, WI

FUNDING \$175,000 from ArtPlace America

PURPOSE Re-claim a former rail corridor to connect 2 neighborhoods through community-based arts and rejuvenate a place for social connectivity

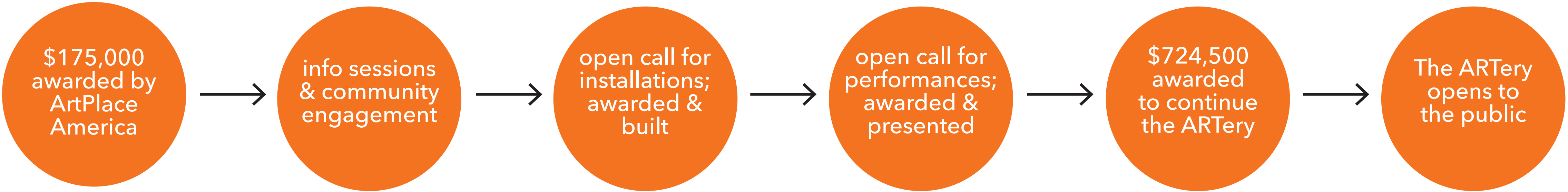
SUSTAINABILITY ASPECTS

- Connects 2 neighborhoods using a vacant site
- 100% adapted, recycled, found, or donated materials
- Includes a plan for affordable housing
- Financial Opportunity Center
- Sharable on-site community resources

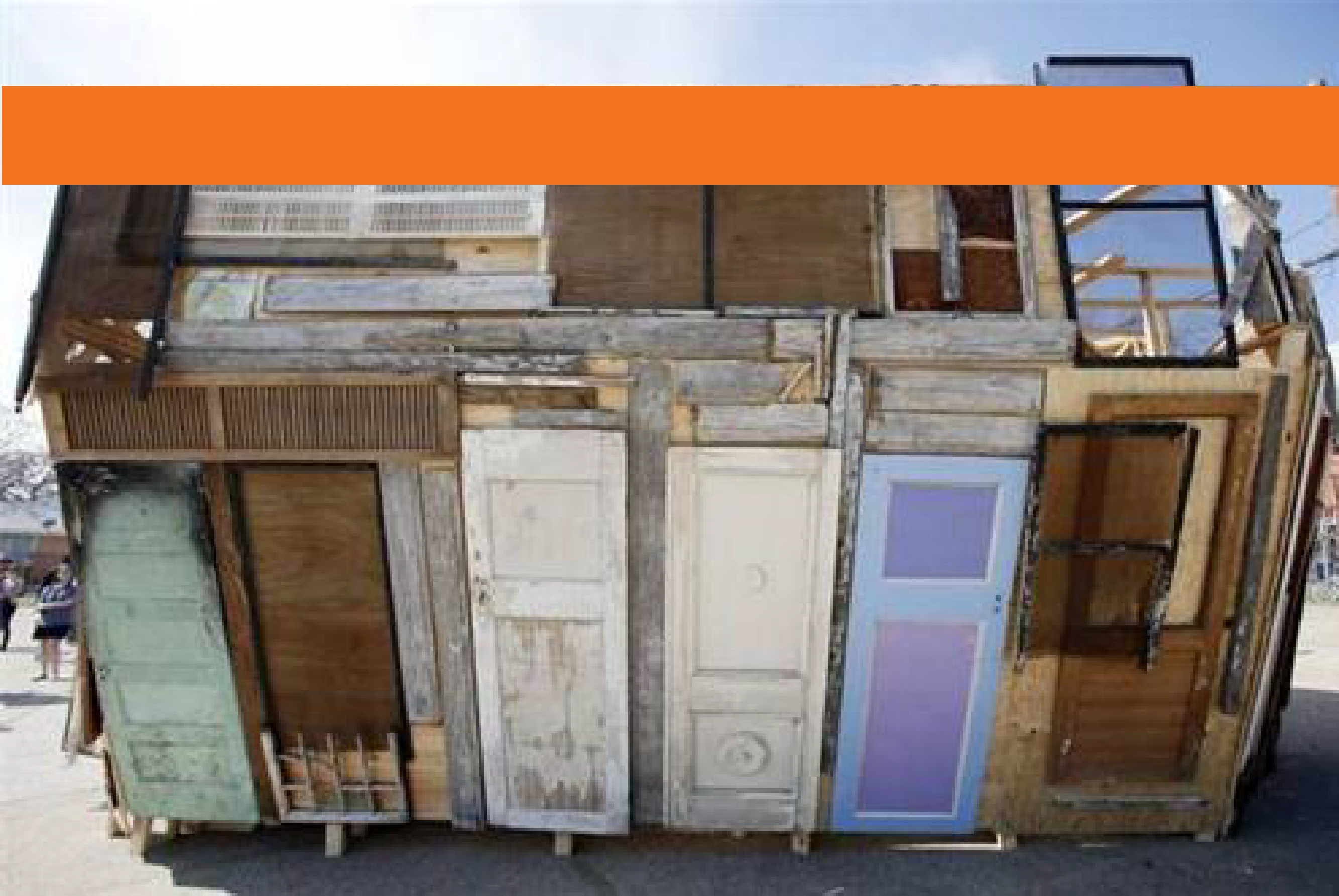
2013

2014

2015



CASE STUDY: ACTIVATING VACANCY



LOCATION Dallas, TX

FUNDING \$50,000 from National Endowment for the Arts Our Town

PURPOSE explore the past, present, and potential future of the Tenth Street Historic District through 6 temporary installations that address preservation, vacancy, and cultural significance

SUSTAINABILITY ASPECTS

- 100% adapted, recycled, donated, or found materials
- Utilized vacant spaces for project sites
- Physical and social neighborhood audit
- Vendor Certification Training Program
- Design and installation by neighborhood residents

2013

\$50,000
awarded by
NEA Our
Town



open call for
collaborations



neighborhood
walking tour &
storytelling



brainstorm
design ideas
& project
intent



2014

6 final
projects
installed



Tenth Street
Sweep audit

FINDINGS & RECOMMENDATIONS

- »» In most cases, adaptive reuse is more sustainable than new construction
- »» Terminology should replace placemaking with placekeeping to promote equitable practices and prevent displacement
- »» Placemaking initiatives should include affordable housing and educational resources to ensure cultural and social sustainability
- »» Policies should be updated to prevent blighted urban conditions and encourage mixed-use communities
- »» True urban development requires revitalization of the community itself through empowerment, pride, and ownership of the project from start to finish

QUESTIONS?

