

TOWNSHIP, RANGE, SECTION, TAXLOT
133200-6167-01-410839

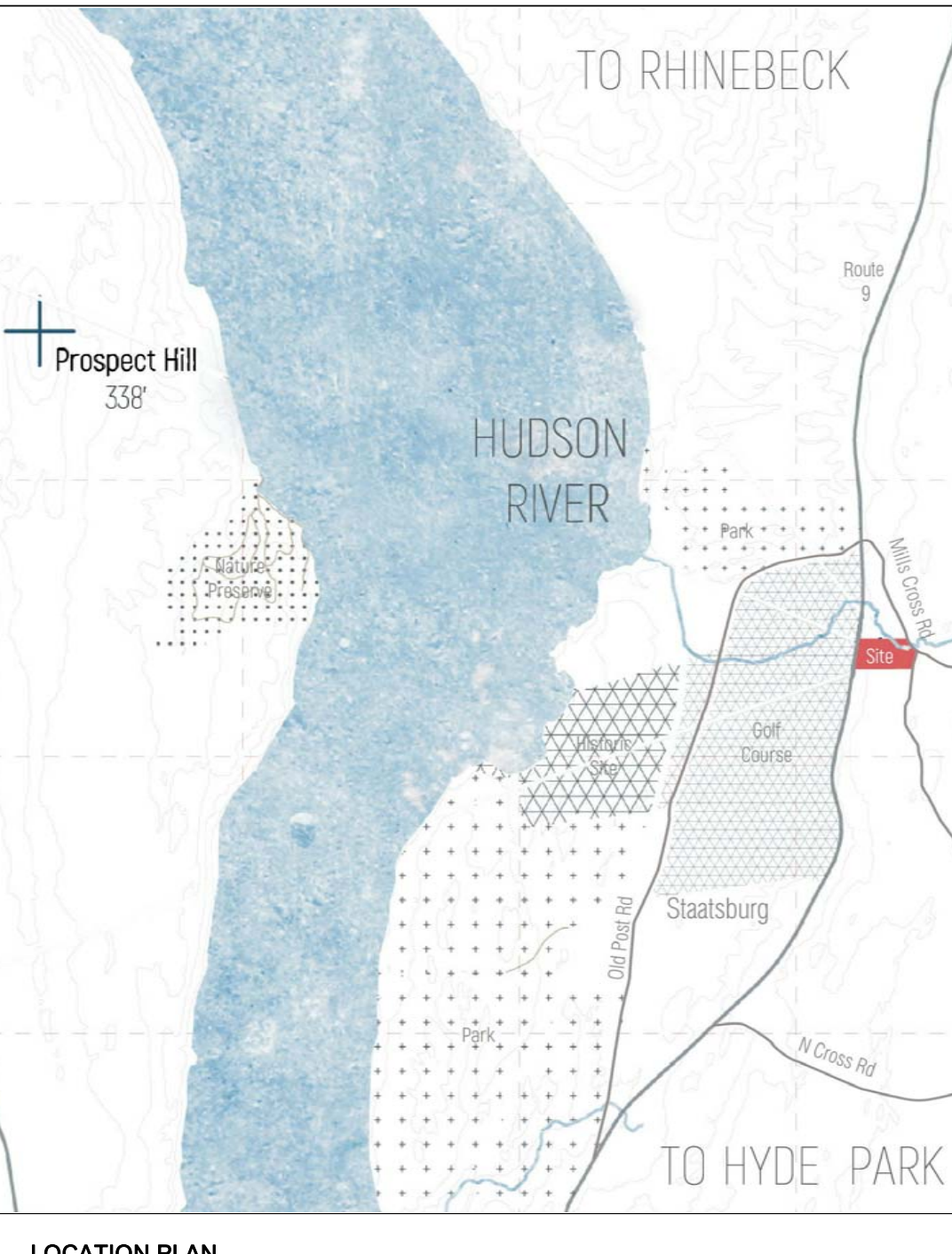
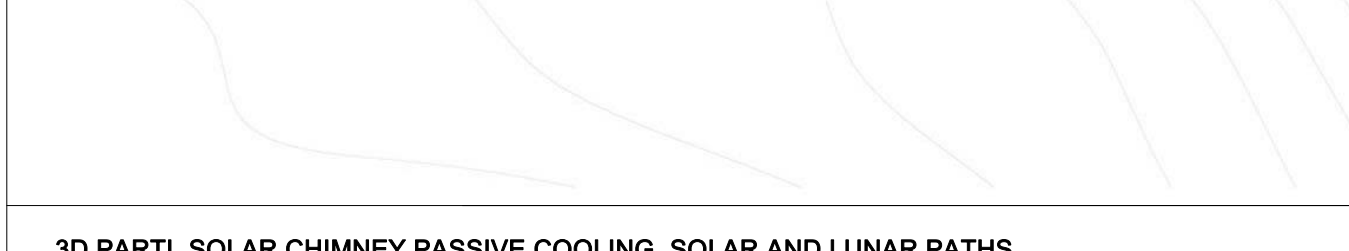
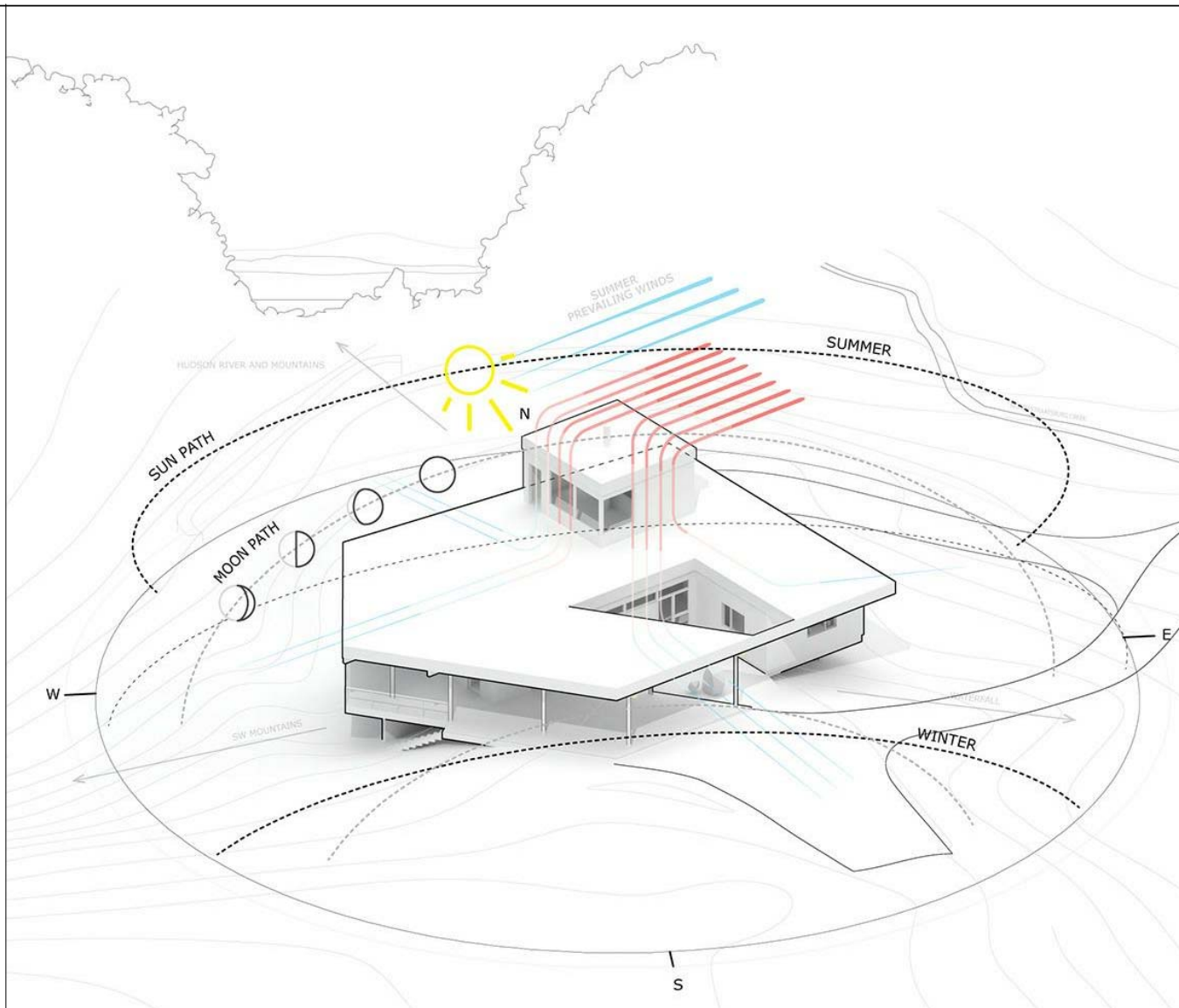
ZONE
R-1 SINGLE FAMILY RESIDENCE

DRIVEWAY
APPROX 10' WIDE, PAVED TO FRONT PORCH GRAVEL TO BASEMENT GARAGE

DUTCHESS COUNTY HEALTH MAP
09625A

BULK REGULATIONS
SIDE SETBACK = 25' / ACTUAL = 50.33'
CREEK SETBACK = 100' / ACTUAL SETBACK 100.33'
HEIGHT ALLOWANCE = 35' / ACTUAL HEIGHT = 32'

UTILITIES
ELECTRICAL SERVICE: CENTRAL HUDSON GAS & ELECTRIC, UNDERGROUND CABLE
WATER: NEW WELL; WASTE WATER: NEW SEPTIC FIELD AND TANK
FUEL SOURCE: 500 GALLON LIQUID PROPANE TANK, UNDERGROUND



SHEET LIST	
SHEET NUMBER	SHEET NAME
A1.00	COVER SHEET
A1.01	MATERIALS AND GENERAL NOTES
C1.01	SDS PLAN
C1.02	SANITARY DETAILS
C1.03	EROSION CONTROL DETAILS
C1.04	PLAN & PROFILE
S1.01	FOUNDATION PLAN
S1.02	FIRST FLOOR FRAMING PLAN
S1.03	ROOF FRAMING PLAN
S1.04	GENERAL NOTES & DETAILS
S1.05	FOUNDATION SECTIONS & DETAILS
S1.06	SECTIONS & DETAILS
A1.02	ARCHITECTURAL SITE PLAN
A1.03	BASEMENT PLAN
A1.04	FIRST FLOOR PLAN
A1.05	ROOF PLAN
A2.01	REFLECTED CEILING PLAN
A3.02	SECTIONS
A3.03	SECTIONS
A3.07	DOOR & WINDOW DETAILS
A3.09	WALL SECTIONS
A3.11	ENCLOSURE DETAILS
A4.01	ELEVATIONS
A4.02	ELEVATIONS
A5.01	INTERIOR ELEVATIONS
A5.11	ENLARGED PLANS - BATH
A5.13	ENLARGED PLANS - KITCHEN
A5.15	STAIR DETAILS
A5.21	WINDOW SCHEDULE & LEGEND
A5.22	DOOR SCHEDULE & LEGEND
E1.01	ELECTRICAL PLANS
P1.01	PLUMBING SCHEDULE & NOTES

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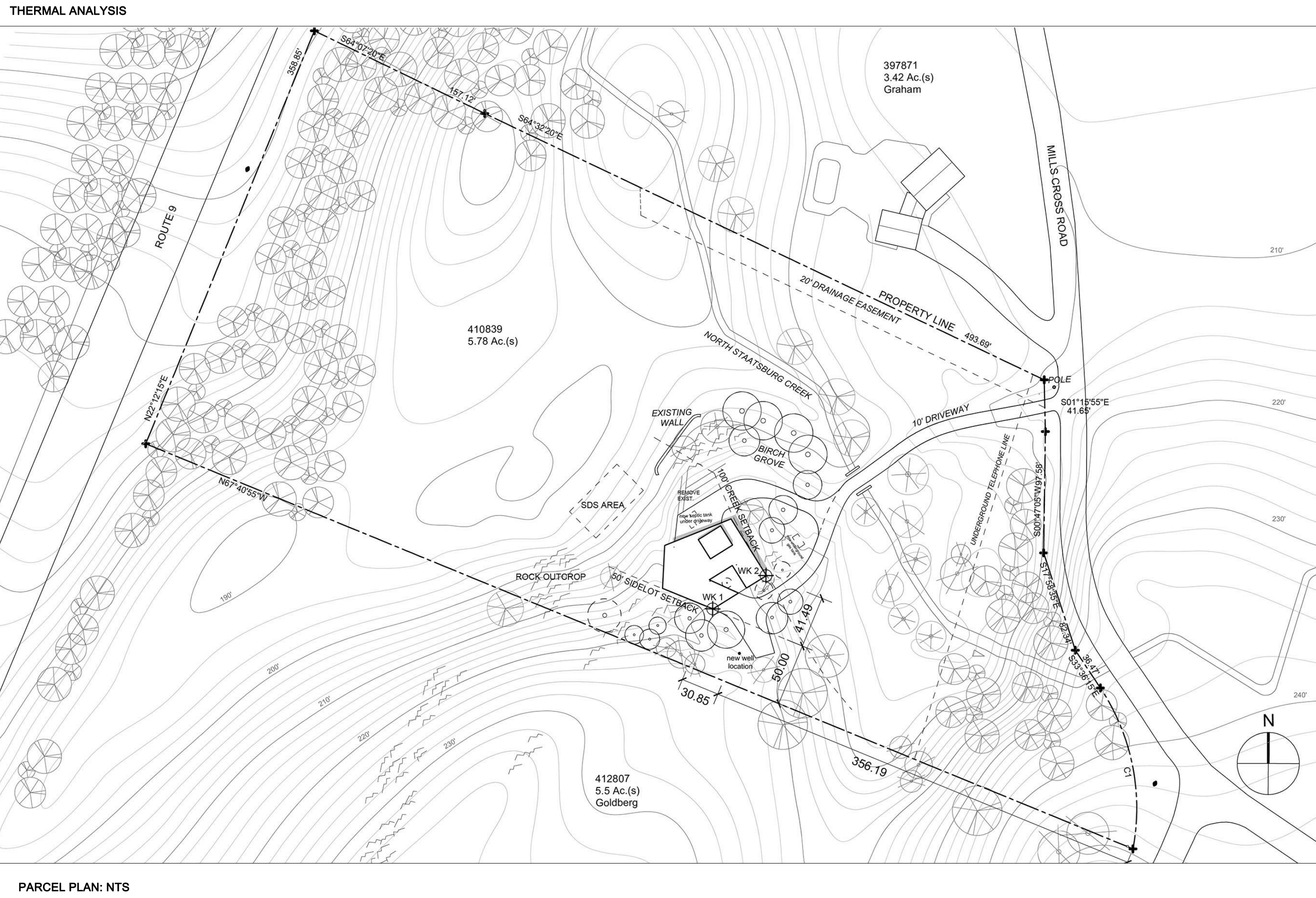
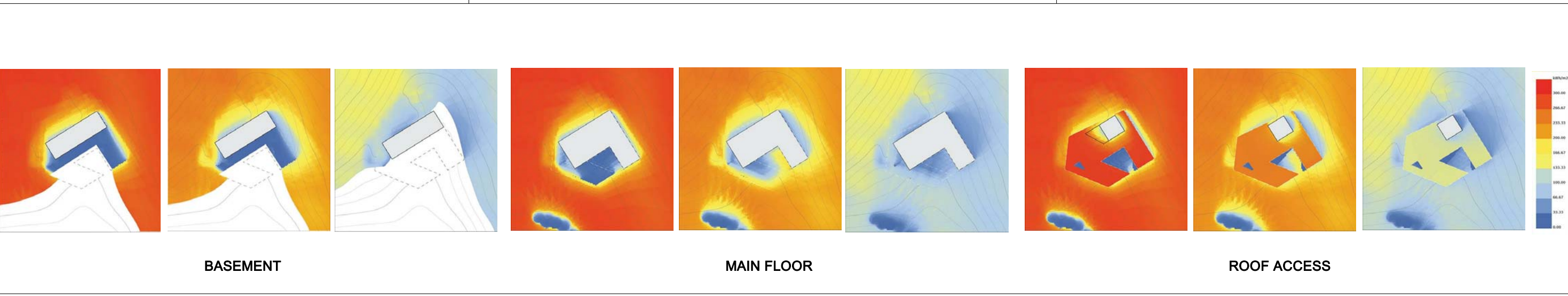
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BUILDING GRID LINES 1 A	REVISION CLOUD 3 REVISION NO.
WINDOW SYMBOL ROOM NO. 34.B REFERENCE LETTER	MATCH LINE SHEET NO. A3.2 THE SHADED PORTION IS THE SIDE CONSIDERED
DOOR SYMBOL ROOM NO. 21.8 REFERENCE NUMBER	ROOM LABEL LIVING ROOM ROOM NAME 1.2 ROOM NO. FLOOR LEVEL
DETAIL AREA REFERENCE 5 DTL NO. A9.2 SHEET NO.	SECTION SECTION NO. 4 SHEET NO.
EXTERIOR ELEVATION SHEET NO. A3.2 2 ELEV. NO.	INTERIOR ELEVATION 1 A6.10 2 ELEV. NO. (TYP) 3 SHEET NO.
CEILING HEIGHT 8'-0" CEILING HEIGHT	NORTH ARROW ARCHITECTURAL NORTH TRUE NORTH
WORK POINT OR CONTROL POINT	
SYMBOLS	ABBREVIATIONS, NO SCALE

& < @	And Angle At Centerline	DWR E EA EJ EL ELEC ELEV EMER ENCL E.O.S. EQ EQUIP E.W. EXIST EXP EXPO EXT	Drawer East Each Expansion Joint Elevation Electrical Elevation Emergency Enclosure Edge of Slab Equal Equipment Each Way Electric Water Cooler Existing Expansion Exposed Exterior	JST JT KIT LAM LAV L.F. L.H. LKR L.R. LT LVR	Joist Joint Kitchen Laminate Lavatory Lineal Foot Left Hand Locker Living Room Light Louver	REQ RESIL REV RFG R.H. RM R.O. RWD	Required Resilient Revised Roofing Right Hand Room Rough Opening Redwood
# (E)	Number Existing	E.W.C. EXP EXT	Electric Water Cooler Expansion Exposed Exterior	MATL MAX M.B. MECH MEMB MET MFR MH MIN MIR MISC M.O. M.R. MTD MUL	Material Maximum Machine Ball Metal Mechanical Membrane Metal Manufacture Manhole Minimum Mirror Miscellaneous Masonry Opening Moisture Resistant Mounted Mullion	S S.C. SCH SECT SEP SH SHR SHT SIM SLDG SPEC SQ SS SSK STD STL STOR STRUCT SUSP SW SYM SYS	South Solid Core Schedule Section Separation, Separate Shelf Shower Sheet Shim Similar Siding Specification Square Stainless Steel Service Sink Standard Steel Storage Structural Suspended Switch Symmetrical System
AB A/C A.C. ACT ACOUS ADJ A.F.F. ALT ALUM ANOD A.P. APPROX ARCH ASPH	Anchor Bolt Air Conditioning Asphaltic Concrete Acoustical Tile Acoustical Adjustable Above Finish Floor Alter or Alternate Aluminum Anodized Access Panel Approximate Architectural Asphalt	F.A. F.D. FDN F.E. F.E.C. F.G. F.H.C. FIN FLASH FLR FLUOR F.O.C. F.O.F. F.O.M. F.O.S. FRF FR FS FTG FUR FUT	Fire Alarm Floor Drain Foundation Fire Extinguisher Fire Extinguisher Cab Finish Grade Fire Hose Cabinet Finish Flashing Floor Fluorescent Face of Concrete Face of Finish Face of Masonry Face of Stud Fireproof Frame Full Size Foot, Feet Footing Furring, Furred FUTURE	N N.I.C. NO NOM N.S. N.T.S.	North Not in Contract Number Nominal No Scale Not to Scale	T T.B. T&G T.O.C. T.O.D. TEL TEMP TER THK THR TOIL T.O.P. T.O.S. T.P.D. T.S. TV T.O.W. TYP	Tread Towel Bar Tongue and Groove Top of Curb Top of Drain Telephone Tempered, Temperature Terrazzo Thick, Thickness Threshold Toilet Top of Pavement Top of Slab Toilet Paper Dispenser Top of Steel Television Top of Wall Typical
BD BITUM BLDG BLK BLKG BM BOT BR BSMT B.U.R.	Board Bituminous Building Block Blocking Beam Bottom Bedroom Basement Built Up Roofing	GA GALV G.B. G.I. GL GND GR GYP	Gauge Galvanized Grab Bar Galvanized Iron Glass, Glazing Ground Grade Gypsum	PC P.D. PL P.L. PLMG PLAM PLAS PLYWD PR PT P.T.D. PTN	Piece Planter Drain Plate Property Line Plumbing Plastic Laminate Plaster Plywood Pair Paint Paper Towel Dispenser Partition	VERT VEST V.I.F. VOL	Vertical Vestibule Verify in Field Volume
CAB CARP C.B. CEM CER C.I. CLG CLO CLR CMU CNTR COL CONC CONN CONST CONT CONTR CORR C.T. CTR CTSK C.W.	Cabinet Carpet Catch Basin Cement Ceramic Cast Iron Ceiling Closet Clear Concrete Masonry Unit Counter Column Concrete Connection Construction Continuous Contractor Corridor Ceramic Tile Center Countersunk Cold Water	H H.B. H.C. HCP HDWR HDWD H.M. HORIZ HR HT HVAC	High Hose Bib Hollow Core Handicapped Hardware Hardwood Hollow Metal Horizontal Hour Height Heating, Ventilation and Air Conditioning Hot Water	R RAD R.D. REF REFR REINF	Riser Radius Roof Drain Reference Refrigerator Reinforced or Reinforcing	W W W.H. W/O W.C. W.D WK WP WPM WSCT W.S.P. WT	West With Water Heater Without Water Closet Wood Work Point Waterproof Waterproof Membrane Wainscot Wet Standpipe Weight



HUDSON HOUSE

COVER SHEET

ISSUE 100% CONSTRUCTION DOCUMENTS

Date: 03.02.2018

Scale: 3/8" = 1'-0"

SA+UD

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A1.00

MATERIAL LEGEND			
CB-1	WOOD CASEWORK (KITCHEN)	MATERIAL: CUSTOM STAIN; BOX INTERIORS: DRAWER INTERIORS; PULLS: TBD; DOOR HINGES: BLUM; DRAWER GLIDES: TBD	PAINTED WOOD, WHITE, BY IKEA
CB-2*	WOOD CASEWORK (MILLWORK)	MATERIAL: CUSTOM STAIN; BOX INTERIORS: DRAWER INTERIORS; PULLS: TBD; DOOR HINGES: BLUM; DRAWER GLIDES: TBD	MAPLE, CONFIRM WITH ARCHITECT
CN-1*	CONCRETE (EXTERIOR WALL)	MANUFACTURER: COLOR: FINISH: WATERPROOFING CONCRETE SEALER:	DARK GRAY, OWNER TO CONFIRM SEMI-POLISHED FINISH, CLEAR **CONFIRM WITH ARCHITECT OWNER TO SPECIFY
CN-2*	CONCRETE FLOOR (BASEMENT)	MANUFACTURER: COLOR: FINISH: CONCRETE SEALER:	OIL FINISH, NO LAQUER DARK GRAY, OWNER TO CONFIRM SMOOTH FINISH OWNER TO SPECIFY
GL-1	GLASS (SHOWER)	MANUFACTURER: PRODUCT: THICKNESS: NOTES:	TRANSPARENT SURFACE CONTRACTOR TO INSTALLATION, FABRICATION, AND PROCURMENT.
GL-2	GLASS (RAILING)	MANUFACTURER: PRODUCT: THICKNESS: NOTES:	TRANSPARENT SURFACE CONTINUOUS STEEL SHOE AT FLOOR, 1/2" GAP TO ADJACENT WALLS
MT-1	METAL (FLASHING)	MATERIAL: FINISH: COLOR: NOTES:	POWDER COATED METAL MATCH ADJACENT ULTREX WINDOWS MATCH ADJACENT ULTREX WINDOWS (PEBBLEGREY)
MT-2	METAL	MATERIAL: FINISH: GAUGE: NOTES:	GALVANIZED STEEL CONFIRM WITH OWNER
MT-3	METAL (EXTERIOR OF ROOF ACCESS)	MATERIAL: FINISH: GAUGE: NOTES:	GALVANIZED, POLISHED METAL GLOSSY CORRUGATED CONFIRM WITH ARCHITECT
ST-1	STONE COUNTERTOPS (KITCHEN)	SUPPLIER: PRODUCT: THICKNESS: FINISH: NOTES:	GRANITE (OWNER APPROVED), ALLOWANCE \$90/SQFT SLABS WITH 1-1/2" MITERED TURNDOWNS AT VISIBLE EDGES HONED IF SUPPLYING STONE YARD IS WITHIN 50 MILES OF PROJECT, ARCHITECT AND CLIENT TO SELECT SLABS IN PERSON; OTHERWISE CONTRACTOR TO PROVIDE IMAGES OF EACH FINISHED SLAB FOR ARCHITECT REVIEW, PRIOR TO PURCHASING.
ST-2	STONE COUNTERTOPS (BATHS)	SUPPLIER: PRODUCT: THICKNESS: FINISH: NOTES:	GRANITE (OWNER APPROVED), ALLOWANCE \$90/SQFT SLABS WITH 1-1/2" MITERED TURNDOWNS AT VISIBLE EDGES HONED IF SUPPLYING STONE YARD IS WITHIN 50 MILES OF PROJECT, ARCHITECT AND CLIENT TO SELECT SLABS IN PERSON; OTHERWISE CONTRACTOR TO PROVIDE IMAGES OF EACH FINISHED SLAB FOR ARCHITECT REVIEW, PRIOR TO PURCHASING.
TL-1*	TILE BACKSPLASH (KITCHEN)	MATERIAL: FINISH: NOTES: SECTION:	TILE, 3" X 6", VERIFY WITH OWNER WHITE, VERIFY WITH ARCH. AND OWNER
TL-2*	TILE (MASTER BATH SHOWER WALLS)	MATERIAL: FINISH: NOTES: SECTION:	CONCRETE PROVIDED BY OWNER
TL-3*	TILE (GUEST BATH SHOWER FAR WALL)	MATERIAL: FINISH: NOTES: SECTION:	CONCRETE PROVIDED BY OWNER

TL-4	TILE (MUDROOM FLOOR)	MATERIAL: FINISH: NOTES: SECTION:	CONCRETE PROVIDED BY OWNER
TL-5	TILE (BATHROOM FLOORS)	MATERIAL: FINISH: NOTES: SECTION:	CONCRETE PROVIDED BY OWNER
PT-1*	PAINT: INTERIOR WALLS & CEILING	MANUFACTURER: COLOR: FINISH: NOTES:	BENJAMIN MOORE GRAND TITAN WHITE, OC132
PT-2*	WOOD SEALER (INTERIOR)	MANUFACTURER: COLOR: FINISH: NOTES:	TIMBER PRO, TO BE CONFIRMED BY OWNER, UV STABLE
PT-3*	WOOD SEALER (EXTERIOR)	MANUFACTURER: COLOR: FINISH: NOTES:	TIMBER PRO, TO BE CONFIRMED BY OWNER, UV STABLE
PT-4*	WOOD SEALER (INTERIOR FLOORS)	MANUFACTURER: COLOR: FINISH: NOTES:	OSMO POLY-OLU, HIGH SOLID CLEAR MATTE SHEAN
RB-1	EPDM ROOFING	MATERIAL: FINISH: GAUGE: NOTES:	EPDM RUBBER, ETHYLENE PROPYLENE DIENE MONOMER CONFIRM WITH OWNER
WD-1	WOOD (EXTERIOR SIDING)	MATERIAL: FINISH: THICKNESS: GRADE: NOTES:	CEDAR VERTICAL PLANK, 4" WIDE NOMINAL 3/4"
WD-2	WOOD, SOLID	MATERIAL: FINISH: THICKNESS: GRADE: NOTES:	DOUGLAS FIR N/A NOMINAL STUD DIMENSIONS MIN. NO. 3
WD-3	WOOD INTERIOR	MATERIAL: FINISH: THICKNESS: GRADE: NOTES:	DOUGLAS FIR (PROVIDED BY OWNER, GC TO COORDINATE)
WD-4	WOOD, PLYWOOD VENEER (MILLWORK)	MATERIAL: FINISH: NOTES:	GENERAL CONTRACTOR BUILT PLYWOOD OIL, MATTE PROVIDE MINIMUM OF ONE (1) SEPARATE 12"X12" MOCK-UP FOR ARCHITECT REVIEW
WD-5	WOOD FASCIA (INTERIOR)	MATERIAL: FINISH: THICKNESS: GRADE: NOTES:	CEDAR SEE WD-1 1" NOMINAL (CONFIRM AGAINST CUPPING)
WD-6	WOOD (INTERIOR DOORS)	MATERIAL: FINISH: THICKNESS: NOTES:	DOUGLAS FIR 1 1/2" PLYWOOD VENEER, SOLID CORE
WD-7	WOOD (EXTERIOR DOOR)	MATERIAL: FINISH: THICKNESS: NOTES:	DOUGLAS FIR
WL-1	GYPSUM (INTERIOR WALLS)	MATERIAL: FINISH: THICKNESS: GRADE: NOTES:	GYPSUM WALLBOARD, SEE SPECIFICATIONS VERIFY WITH ARCHITECT
WL-2	POLYCARBONATE (NORTH STAIR WALL)	MATERIAL: FINISH: THICKNESS: NOTES:	POLYCARBONATE TRANSLUCENT SINGLE CELL VERIFY WITH ARCHITECT, \$200 FOR 1/8" TH. 4'X8' SHEET

*PROVIDE SAMPLE FOR ARCHITECTS REVIEW. ARCHITECT MAY APPROVE WITHOUT PHYSICAL SAMPLE WHEN POSSIBLE.

GENERAL NOTES	
Earthwork	<ol style="list-style-type: none"> Excavate Earth, rock and any other material as required for construction shown on drawings. Dispose of rock, unsatisfactory material and surplus earth legally off site. Some earth may be left onsite with Owner's permission. Crushed rock under slabs: 3/4" minimum (confirm with Structural Engineering specifications). Compact backfill and the top layer of subgrade for structures, slabs, and pavement to 95% maximum density. At unpaved areas compact to 90% maximum density. Place backfill in layers not exceeding 8" in loose depth and compact each layer. Contractor shall protect all large trees to area below drip line and roots. Contractor shall strip and stockpile topsoil removed for construction operations and shall re-spread topsoil over damaged areas at completion of construction. Contractor shall level off and rake smooth all ruts, depressions, clumps of dirt etc. created by construction operations. Fine grading, placing of additional topsoil and seeding are in the contract. Provide 2" gravel at water drainage. 12" minimum good planting topsoil in all planting areas. Provide \$10,000 allowance for trees and their installation.
Concrete	<p>(See Structural Engineering Notes, Contact Architect with conflicts with notes found here.)</p> <ol style="list-style-type: none"> All foundations pinned to bedrock when hard rock (not shale) is revealed. Concrete waterproofing: a) below grade provide membrane system to relieve hydrostatic pressure and b) above-grade provide a penetrating sealer (confirm product with Architect).
Carpentry	<p>(See Structural Engineering Notes, Contact Architect with conflicts with notes found here.)</p> <ol style="list-style-type: none"> Subfloor to coordinate with radiant flooring system (Warmboard 1-1/4" as subfloor: 3/4" plywood and 1/2" routed for tubing.) All framed walls to be 2 x 6 unless otherwise noted.
Insulation	<ol style="list-style-type: none"> All parts of envelope to meet New York State 2017 Supplemental Energy Code. Roof insulation to equal R-49 minimum. Wall insulation to equal to R-19 minimum. Utility room to be heated, insulated interior walls.
<i>*(if used) Rigid Board: Styrofoam SM, SB or TG, or other extruded polystyrene board, ASTM C 578, Type IV of thickness/R-values as shown on drawings.</i>	

GENERAL NOTES CONTD.	
Roofing	<ol style="list-style-type: none"> Roofing to 3E rubber membrane, EPDM by Firestone, Carlisle or Architect approved alternative. Drains, see building sections, roofing plan with site plan sheet, and details.
Flashing & Accessories	<ol style="list-style-type: none"> Provide interleaved stepped aluminum base flashing where roofing abut vertical surfaces, with 4" roof leg and 4" vertical leg. Cover vertical leg with siding. Leaders: Galvanized Metal. Refer to drawings for slope. All flashing to be .024" aluminum with 4" legs, siding over, unless noted otherwise. All wall flashing in contact with metal to avoid galvanic action. Do not bring aluminum and copper in contact with each other. Core-a-vent used at top and bottom of all 3/4" exterior siding diagonal spacers to vent continuous air space.
Windows + Doors	<p>(Additional specifications on other sheets)</p> <ol style="list-style-type: none"> Refer to drawings, window schedule, and window details for new windows. All windows by Integrity by Marvin (except monitors as Marvin exterior alum. clad) or approved equivalent. Use stock sizes when possible. Garage door to have glazed middle panels and be insulated.
Wallboard	<ol style="list-style-type: none"> 1/2" wall board, screwed to studs and ceiling joist/ rafter bottoms, as shown on drawings, typical. Install continuous metal corner beads at all outside corners & metal J-beads at all exposed edges. All wall surfaces in tubs and showers scheduled for tile are to have 1/2" Durock Cement Board by U.S.G. Company, installed in strict accordance with manufacturer's installation instructions. All other bathroom wall surfaces scheduled for tile or paint to have 1/2" water resistant wall board. Lacorette Hydro Ban used at all wet and moist shower and bath locations over backerboard, or approved alt. All cement board to be installed using screws. Wall and ceiling surfaces not for tile to be installed with tape and three coats of all-purpose compound. Sand between coats and after last one. At door and window headers, fasten drywall to studs only (to avoid cracks). At vaulted ceilings, do not fasten drywall within 12" of wall framing.
Tile Work	<ol style="list-style-type: none"> Some tiles provided by owner, see drawings. Typical floor installations on plywood substrate shall conform to Tile Council of America (T.C.A.) method F144-94, using dry-set mortar (portland cement and sand). Typical floor installations on concrete subfloor shall conform to T.C.A. method F113-94, using dry-set mortar or latex portland cement mortar bond coat. Typical wall installations shall conform to T.C.A. method W243-94, using dry-set mortar or latex portland cement mortar over water resistant gypsum wall board. Wall installations in tub or shower enclosures shall conform to T.C.A. method W244-94, using dry-set mortar or latex portland cement mortar over 1/2" Durock cementitious backer board. Floor installations in shower enclosures shall conform to T.C.A. method B415-94, using pre-sanded dryset or latex portland cement mortar over reinforced mortar bed. Shower floors to be fitted with single flexible waterproof membrane and pitched to drain.
Stonework	<ol style="list-style-type: none"> Countertops stone see G1.01 Materials and General Notes. Hardwood flooring or Hard Wood flooring at \$6/sqft material cost, to be confirmed by Owner, Architect and Radiant Flooring Designer. Tongue and groove, 25/32" x 4" wide Douglas Fir (specs by owner), 3'-0" minimum lengths and averaging 5'-0" long, double channel base. Living room floor boards as 8'-10" width planks. Machine sand with coarse, medium, and fine paper until smooth. Finish with one coat selected stain, two coats sealer, and three coats polyurethane finish. Sand and finish stair treads same. Confirm finish with Architect & Owner. All hardwood flooring to be delivered to site and stored in heated spaces where they are to be installed for at least 14 days prior to installation. Moisture content of hardwood flooring and substrate to be monitored, flooring shall not be installed until moisture contents of flooring and substrate are within 3% of each other. 6% maximum moisture content, kiln dried. All wood flooring to be installed by N.O.F.M.A. recommendations.
Painting	<ol style="list-style-type: none"> Soffit and fascia moldings and interior of House to be painted. Caulk as per door manufacturer specs, all siding butt joints and siding to trim joints with exterior silicone caulk. Color to match window frames as closely as possible. Wall Board: 1 coat primer, 2 coats enamel. Interior paint colors to be selected by Owner. Contractor to submit samples of preliminary color selections of paint and stain on actual materials for final approval of Owner. All new wood trim and wall work to be properly and thoroughly prepared for painting in accordance with good industry practices.
Cabinetry	<ol style="list-style-type: none"> General Contractor to check all stud walls adjacent to cabinetry prior to cabinet installation. Studs shall not be more than 1/4" out of plumb in 8' distance. Contractor to correct variances greater than 1/4" by notching studs and repairing G.W.B./paint prior to cabinet installation as necessary. All plywood veneer to be Maple unless otherwise noted. Contractor to provide two control samples (Owner + Architect) Contractor to provide shop drawings for millwork. 1/2" = 1'-0" scaled or larger shop drawings adequate with Architects approval. Millwork approved with Architects approval. See millwork detail sheet for additional notes. Millwork for kitchen cabinet and island boxes and doors by Ikea or approved alternative allowance \$8,000. Other millwork by GC shop grade, \$50/4x8 sheet. Fixed end panels and back panels of island cabinets to match millwork.
Mechanical	<ol style="list-style-type: none"> Heat Recovery Ventilation system, HRV, to follow manufacturer's specifications and New York State code. Locate intake a minimum of 6 feet from any other exhaust device including HRV exhaust.
Electrical - See E1.01 for additional notes	<ol style="list-style-type: none"> Provide lightning rod system. Confirm with architect.
Plumbing - See P1.01 for additional notes	<ol style="list-style-type: none"> See site plan for roof drainage routing to planting areas.

HUDSON HOUSE	
MATERIALS AND GENERAL NOTES	ISSUE 100% CONSTRUCTION DOCUMENTS
	Date 03.02.2018
	Scale As indicated
SA+UD	
Philip Speranza, Architect t: 1 917 579 0152 e. speranza@speranzarchitecture.com	
A1.01	

HEALTH DEPARTMENT NOTES

DCDOH STANDARD NOTES:

(STANDARD NOTES FOR RESIDENTIAL PROJECTS - SEWAGE DISPOSAL)

1. THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

- *APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK SANITARY CODE.
- *NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS - NYSDDES
- *RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS, DESIGN HANDBOOK, NEW YORK DEPARTMENT OF HEALTH.
- *PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH.
- *RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS (TEN STATES)
- *NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES, AND STANDARDS
- *DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES.
- *DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION (DC EHS) CERTIFICATE OF APPROVAL LETTER.

2. THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES; AND, AS A CONDITION OF THIS APPROVAL, A CONSTRUCTION INSPECTION BY A REPRESENTATIVE OF THE DC EHS SHALL BE DONE TO DETERMINE THAT CONSTRUCTION AT THE TIME OF INSPECTION WAS COMPLETED IN GENERAL CONFORMANCE WITH THE APPROVED PLANS AND ANY AMENDMENT THEREOF.

3. APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.

4. THE DC EHS SHALL BE CONTACTED PRIOR TO THE COMMENCEMENT OF THE HOME CONSTRUCTION AND/OR ISSUANCE OF A BUILDING PERMIT FOR A PRE-CONSTRUCTION INSPECTION TO ENSURE THAT THE ARRANGEMENTS FOR SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.

5. ALL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS (SDS), EXISTING OR APPROVED, LOCATED WITHIN 300 FEET OF THE PROPOSED SDS AND WELL ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE SDS AND WELL.

6. IF THE TANK IS DELIVERED TO THE SITE IN SECTIONS, THEN IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC EHS FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATERTIGHT, AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT, AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.

7. ALL PROPOSED WELL AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

8. NO CELLAR, FOOTING, GARAGE, COOLER, OR ROOF DRAINS SHALL BE DISCHARGED INTO THE ONSITE WASTEWATER TREATMENT SYSTEM OR WITHIN 50 FEET OF ANY WELL.

9. ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE ONSITE WASTEWATER TREATMENT SYSTEM.

10. THERE SHALL BE NO VEHICULAR TRAFFIC OVER THE ONSITE WASTEWATER TREATMENT SYSTEM. PRIOR TO CONSTRUCTION, THE AREA OF THE SYSTEM SHALL BE STAKED OUT AND FENCED OFF.

11. ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.

12. ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.

13. THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ADDITIONAL NOTES:

- ALL REQUIRED EROSION AND SEDIMENT CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.
- THERE SHALL BE NO MODIFICATION TO THESE PLANS WITHOUT PRIOR WRITTEN APPROVAL FROM THE DUTCHESS COUNTY DEPARTMENT OF HEALTH.
- NO COMPONENT OF THE SEWAGE DISPOSAL SYSTEM SHALL BE BACKFILLED PRIOR TO A HEALTH DEPARTMENT INSPECTION.

PIPE NOTES:

- THE PIPE FROM THE PROPOSED BUILDING TO THE SEPTIC TANK SHALL BE 4" SDR-35 WITH A SLOPE AS SPECIFIED ON THE PLAN.
- THE PIPE FROM THE SEPTIC TANK TO THE DISTRIBUTION BOX SHALL BE 4" SDR-35 PVC WITH A SLOPE AS SPECIFIED ON THE PLAN.
- ALL INFILTRATOR CHAMBER ENDS ARE TO BE CAPPED.
- ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH STANDARDS SET FORTH BY THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE LOCAL BUILDING OFFICIAL.
- ONCE THESE PLANS ARE SIGNED AND APPROVED BY THE DUTCHESS COUNTY DEPARTMENT OF HEALTH, THE CONTRACTOR SHALL RECEIVE APPROVAL FROM THE LOCAL BUILDING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION.
- ANY TREES & STUMPS LOCATED WITHIN THE PROPOSED SDS SYSTEM MUST BE CUT AND REMOVED FROM THE AREA PRIOR TO CONSTRUCTION OF THE SDS.

CONVENTIONAL PRIMARY SYSTEM DESIGN

3 BEDROOMS (110 GPD/BEDROOM)
330 GALLONS PER DAY (GPD)
SYSTEM PERC. RATE: 46-60 MIN./INCH
APPLICATION RATE: 0.45 GALLONS/DAY/SQ FT
330 GPD / 0.45 GPD/SQ FT = 733 SQ FT
733 SQ FT / 2 SF/LF = 367 LF REQUIRED
EQ CHAMBERS (25% REDUCTION) = 275 LF REQUIRED
6 ROWS @ 48 LF = 288 LF PROPOSED

CONVENTIONAL RESERVE SYSTEM DESIGN

3 BEDROOMS (110 GPD/BEDROOM)
330 GALLONS PER DAY (GPD)
SYSTEM PERC. RATE: 46-60 MIN./INCH
APPLICATION RATE: 0.45 GALLONS/DAY/SQ FT
330 GPD / 0.45 GPD/SQ FT = 733 SQ FT
733 SQ FT / 2 SF/LF = 367 LF REQUIRED
EQ CHAMBERS (25% REDUCTION) = 275 LF REQUIRED
6 ROWS @ 48 LF = 288 LF PROPOSED

NOTES:

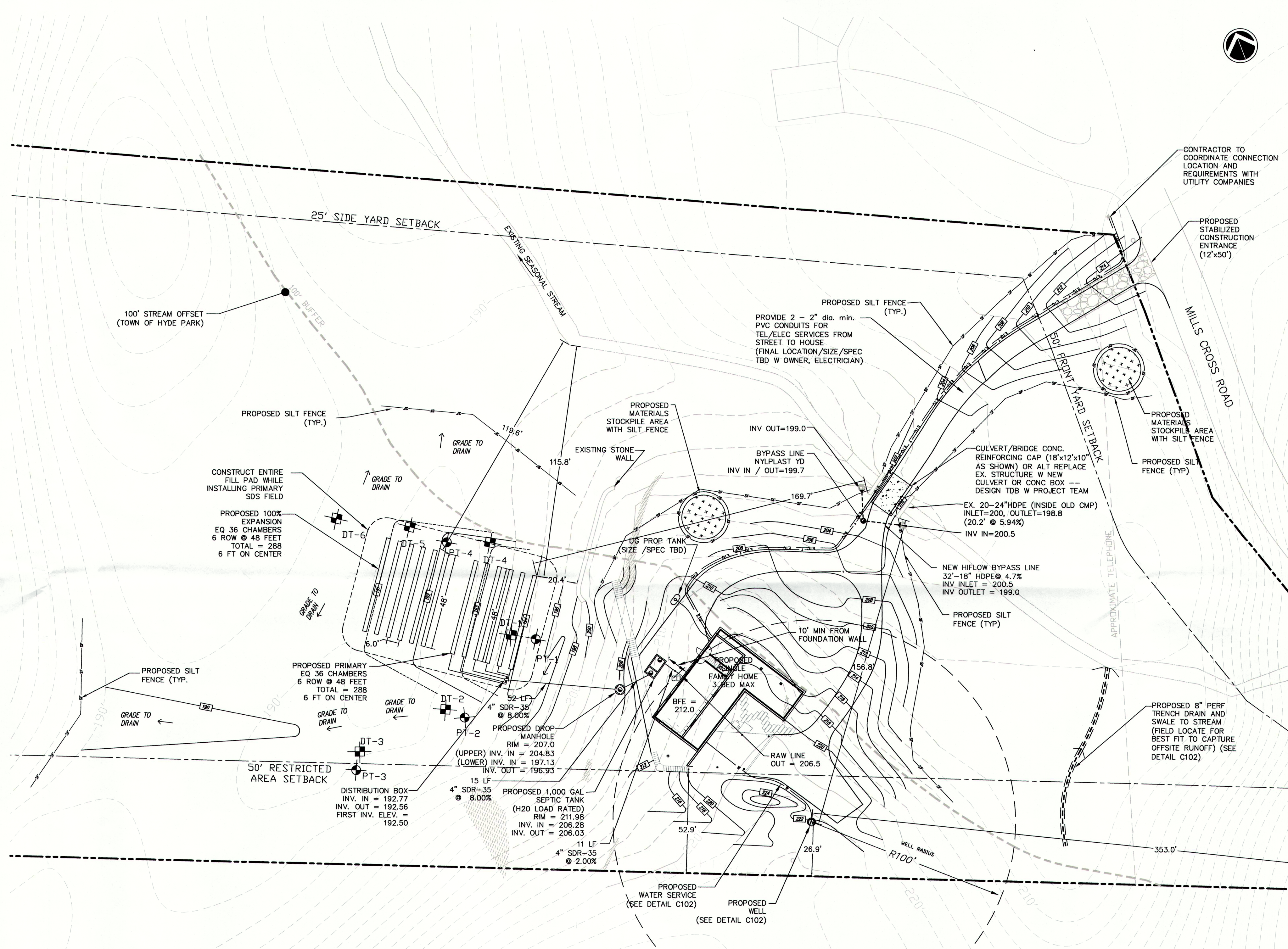
- SURVEY BASE PLAN INFORMATION (BOUNDARY & TOPOGRAPHY) WAS COMPLETED BY DALBO SURVEYING.
- ADDITIONAL INFORMATION WAS SUPPLEMENTED FROM DUTCHESS COUNTY GIS, AERIAL PHOTOGRAPHY, AND DUTCHESS COUNTY PARCEL ACCESS & OTHER RECORD DOCUMENTS, AND ARE CONSIDERED APPROXIMATE.
- THE SITE WAS INSPECTED BY MICHAEL NOWIKI OF ECOLOGICAL SOLUTIONS INC. AND NO WETLANDS WERE FOUND ONSITE.
- CONTRACTOR TO CONTACT UTILITY COMPANY ABOUT EXISTING TEL/ELEC ONSITE AND ABANDON OR REMOVE AS REQUIRED.

PERCOLATION TEST RESULTS
CONDUCTED BY LRC GROUP
PERCOLATION TESTS CONDUCTED ON NOVEMBER 20, 2017

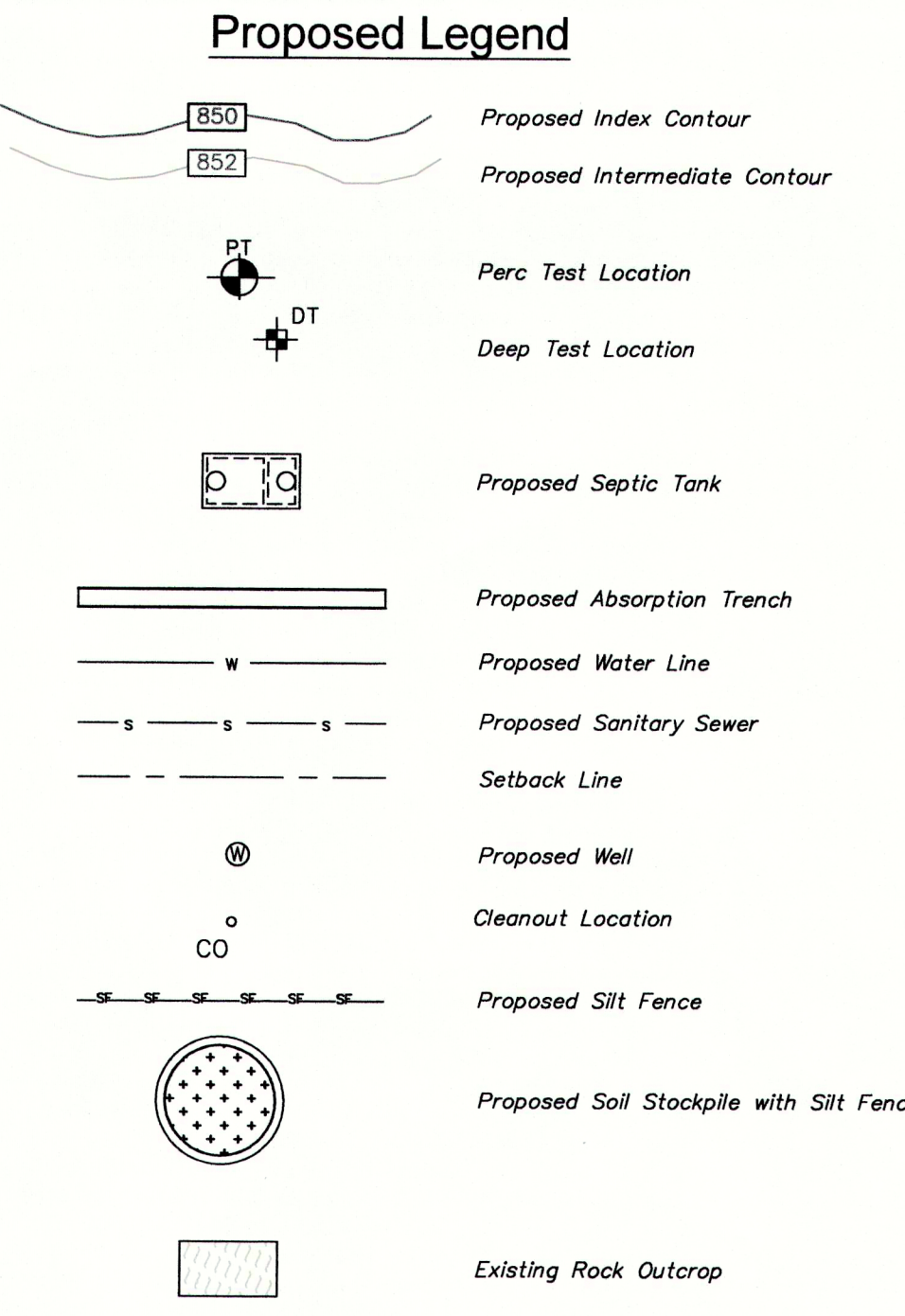
HOLE#	DEPTH	1ST RUN	2ND RUN	3RD RUN	4TH RUN
PT-1	24"	10 MIN	11 MIN	11 MIN	11 MIN
PT-2	24"	40 MIN	40 MIN	41 MIN	
PT-3	24"	60+	FAIL		
PT-4	24"	50 MIN	51 MIN	51 MIN	

DEEP TEST RESULTS
CONDUCTED BY LRC GROUP
DEEP TESTS CONDUCTED ON NOVEMBER 20, 2017

HOLE #	TOTAL DEPTH	ROCK DEPTH	WATER DEPTH	NOTING DEPTH	SOIL DESCRIPTION
DP-1	8'	NA	NA	NA	0-1' TOPSOIL 1'-8" SILTY CLAY LOAM
DP-2	8'	NA	8'	NA	0-1' TOPSOIL 1'-6" SILTY CLAY LOAM 6'-8" GRAVELLY SILTY LOAM 0-8" TOPSOIL
DP-3	8'	NA	NA	NA	8'-6" SILTY CLAY LOAM 6'-8" GRAVELLY LOAM W/ SILTS 0-8" TOPSOIL
DP-4	6'	NA	6'	NA	0-8" TOPSOIL 8'-4" GRAVELLY SILTY LOAM 0-8" TOPSOIL
DP-5	6.5'	NA	6.5'	NA	8'-6.5" GRAVELLY SILTY LOAM 0-8" TOPSOIL
DP-6	6'	NA	6'	NA	8'-6" SILTY LOAM W/ COBBLES



2/10/18
DUTCHESS COUNTY DEPT. OF HEALTH
These plans are approved.
See first sheet for date and signature.



DUTCHESS COUNTY HEALTH DEPARTMENT

DATE: 2/10/18
REVISED PER DCDOH COMMENTS: 2/14/18

DESIGNED: SHM
DRAWN: SMC
CHECKED: REM
APPROVED: REM

PROJECT NO.: 17-2197
DATE: 2018.01.24
SCALE: 1"=30'

C-101



LRC GROUP

- Land Planning
- Civil Engineering
- Environmental Services
- Land Surveying
- Landscaping Architecture

85 Civic Center Plaza, Suite 103
Poughkeepsie NY 12601
Tel: 845.243.2880

160 West Street, Suite E
Cromwell, CT 06416
Tel: 860.833.2877

90 Beaver Ave, Suite 5
Union, NJ 08899

www.lrcresult.com

Land Resource Consultants, Inc.
LRC Engineering and Surveying, D.P.C.
LRC Environmental Services, Inc.
LRC Engineering and Surveying, LLC

SDS PLAN

SEIDMAN RESIDENCE
60 MILLS CROSS ROAD
TOWN OF HYDE PARK,
DUTCHESS COUNTY, NEW YORK

DESIGNED: SHM
DRAWN: SMC
CHECKED: REM
APPROVED: REM

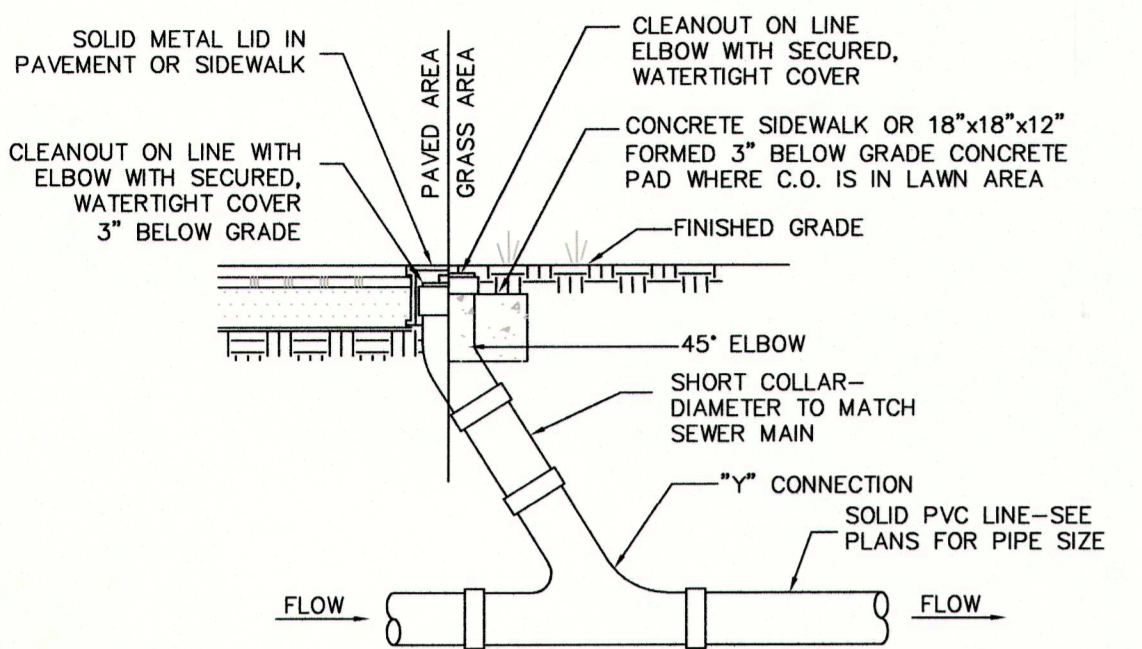
CAD FILE: S0517219701
PROJECT NO.: 17-2197
DATE: 2018.01.24
SCALE: 1"=30'

SHEET NO.: **C-101**

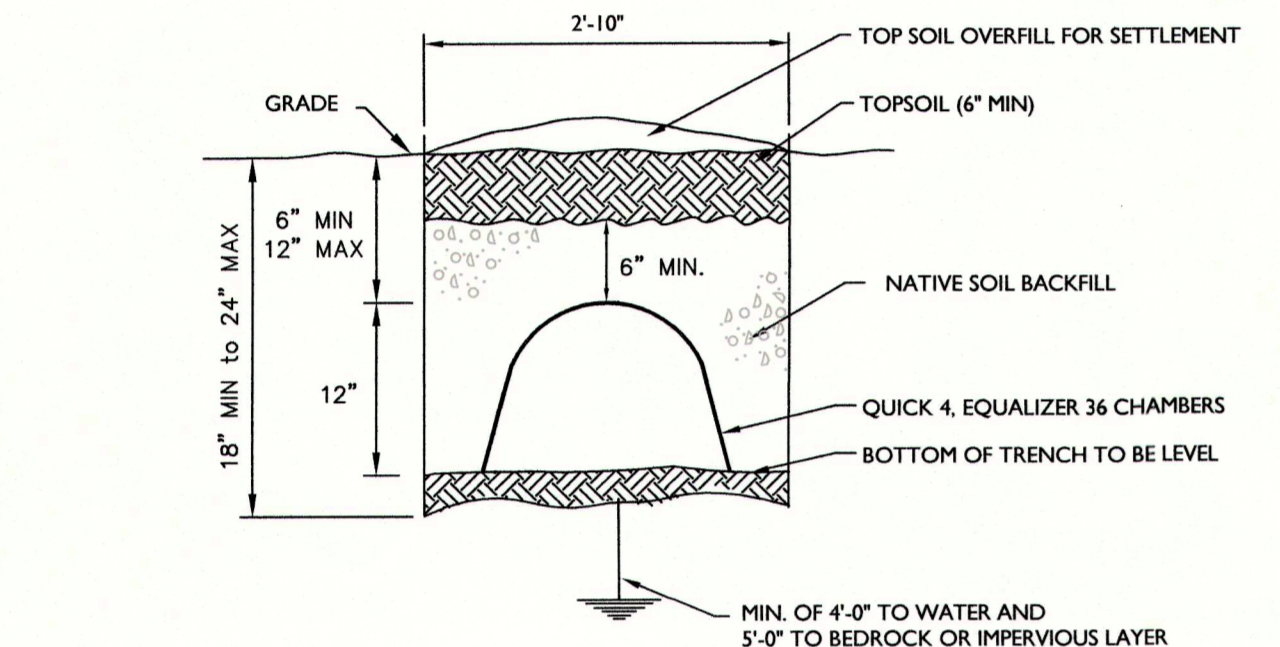
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NOTES:

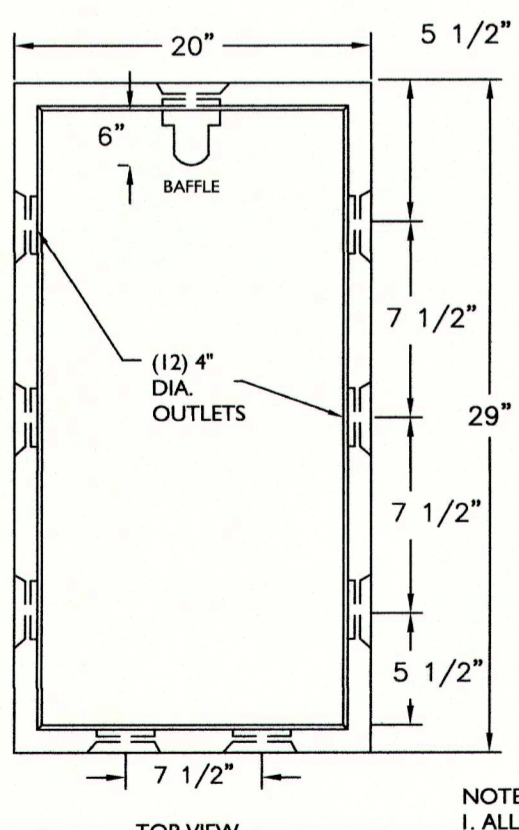
- CLEANOUTS SHALL BE INSTALLED AT 50' INTERVALS OR ANY CHANGE IN DIRECTION.
- ANY LOCATIONS WITHIN PAVED AREAS SHALL HAVE COVERS THAT ARE H-20 LOAD RATED. ALL COVERS WHETHER IN PAVEMENT OR GRASS SHALL BE LABELED "SEWER".
- ALL RISERS ARE TO MATCH THE SIZE OF THE SANITARY LINE.



SINGLE SEWER CLEANOUT DETAIL
NOT TO SCALE



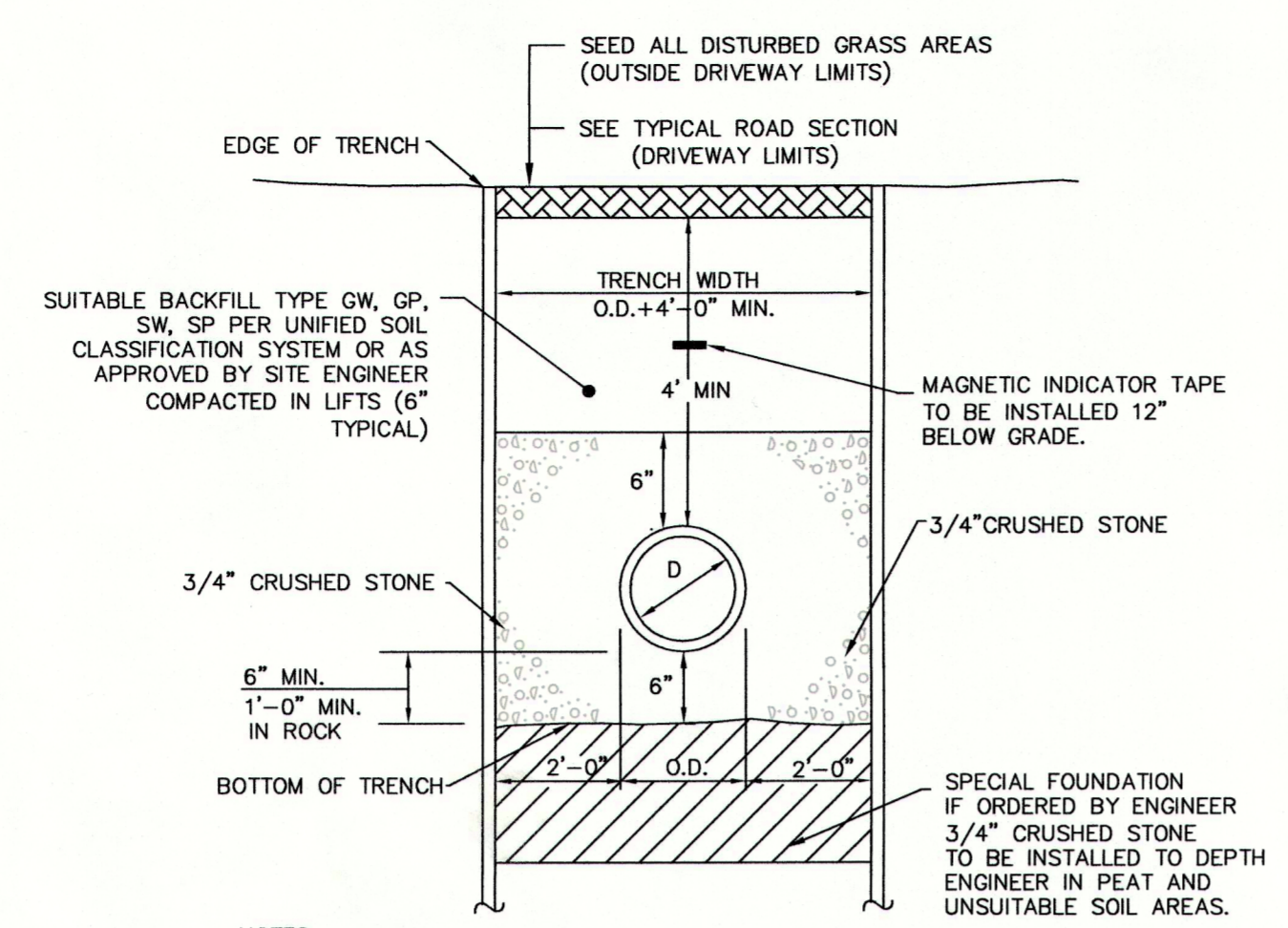
TYPICAL INFILTRATOR TRENCH DETAIL
NOT TO SCALE
NOTE: ABSORPTION TRENCHES TO BE SPACED 6 FEET ON CENTER.



- NOTES:**
- ALL OUTLETS MUST BE LEVEL AND MUST BE INSPECTED BY THE SITE ENGINEER PRIOR TO BEING BACKFILLED.
 - PROVIDE A LOCATION STAKE OVER THE BURIED LID.
 - PROVIDE SPEED LEVELERS ON ALL OUTLET PIPES.
 - PROVIDE A MINIMUM OF 2 FT OF SOLID PIPE BETWEEN THE DISTRIBUTION BOX AND THE BEGINNING OF THE INFILTRATOR TRENCH.

SPECIFICATIONS	PRECAST DISTRIBUTION BOXES MODEL DB-8 / 8 OUTLETS WITH BAFFLE
Concrete Min. Strength: 4000 psi at 28 days	Woodard's Concrete Products, Inc. 675 Lakes Road, Hickory, NY 12512 (845) 361-2471 / Fax 361-1050 www.woodardsconcrete.com
Reinforcement: Fiber, 10ga. wire mesh	
Air Entrainment: 5%	
Pipe Connection: Polylok Seal (patented) Load Rating: 300 psf Weight: 290 lbs	

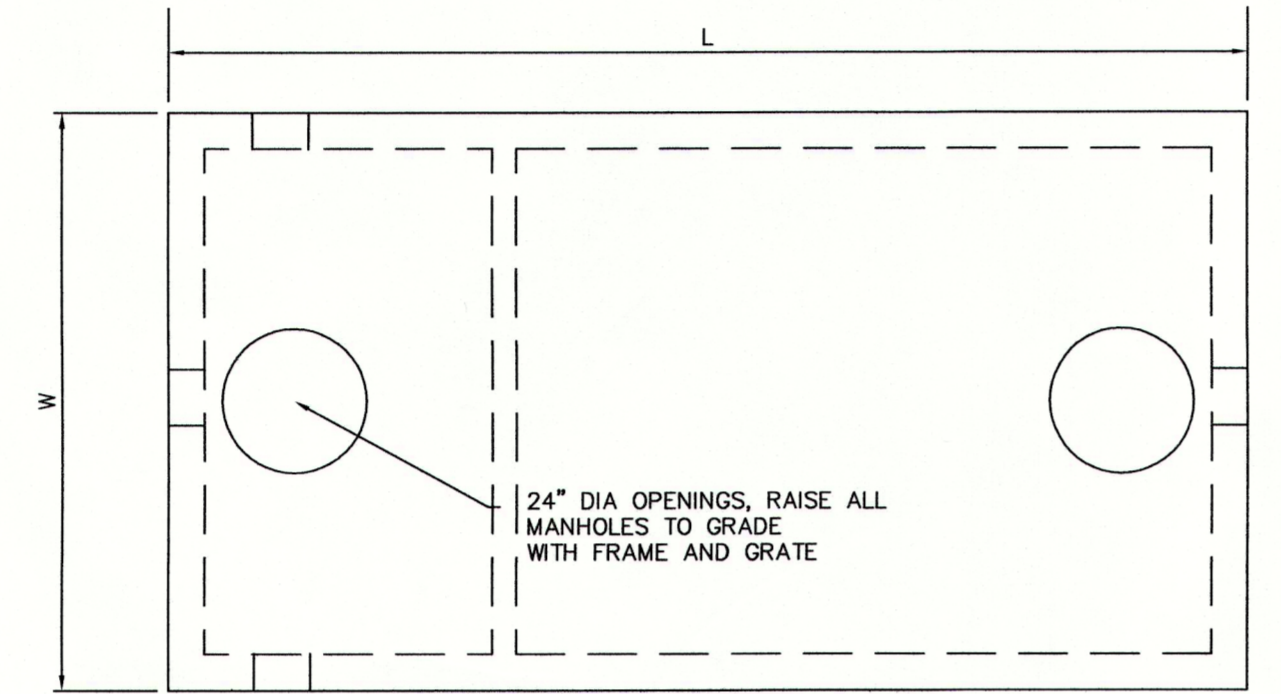
DISTRIBUTION BOX (GRAVITY INLET)
(DETAIL PROVIDED BY WOODARDS)
NOT TO SCALE



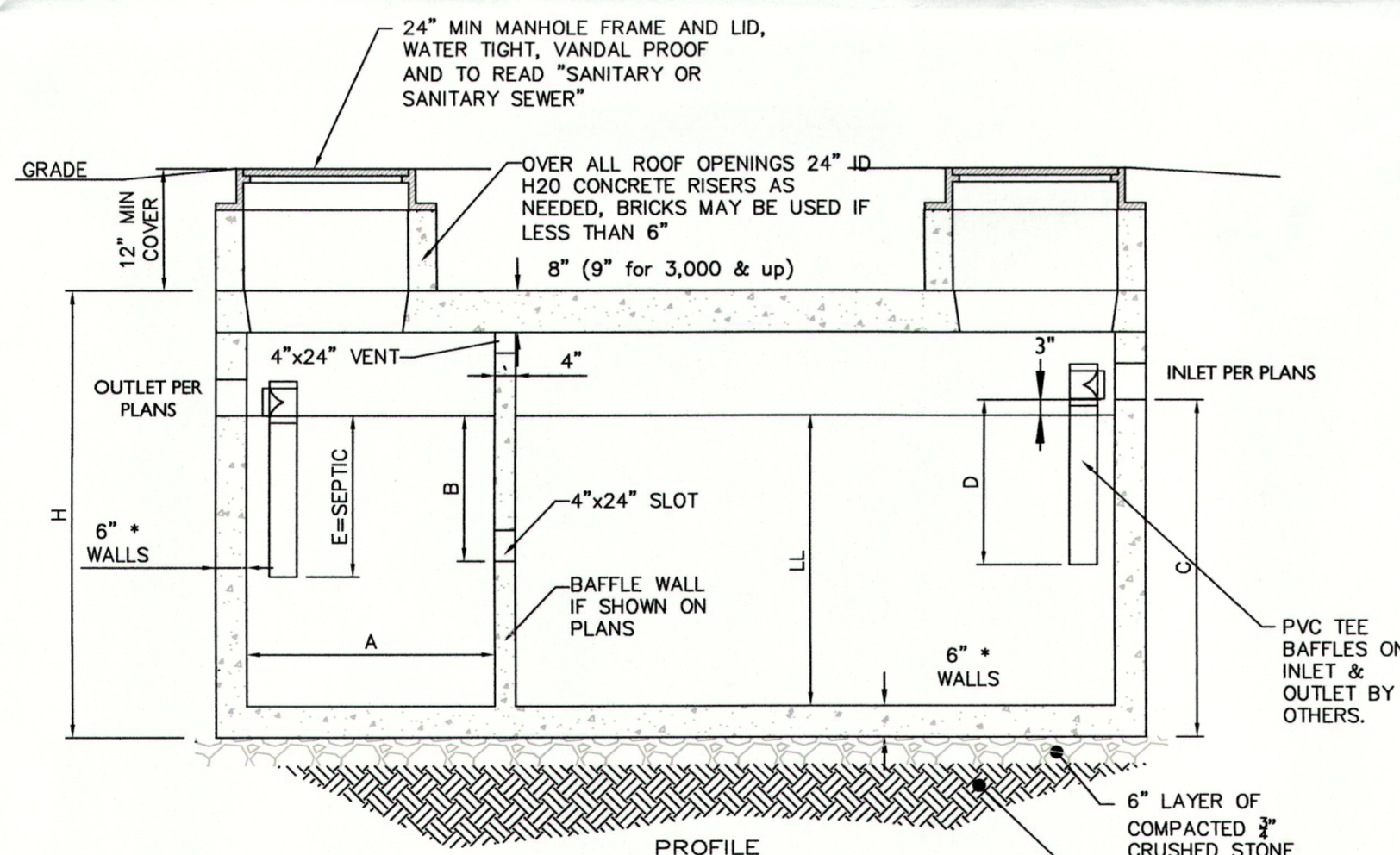
NOTES:

- IF COVER IS LESS THAN 4 FEET INSULATION IS REQUIRED.

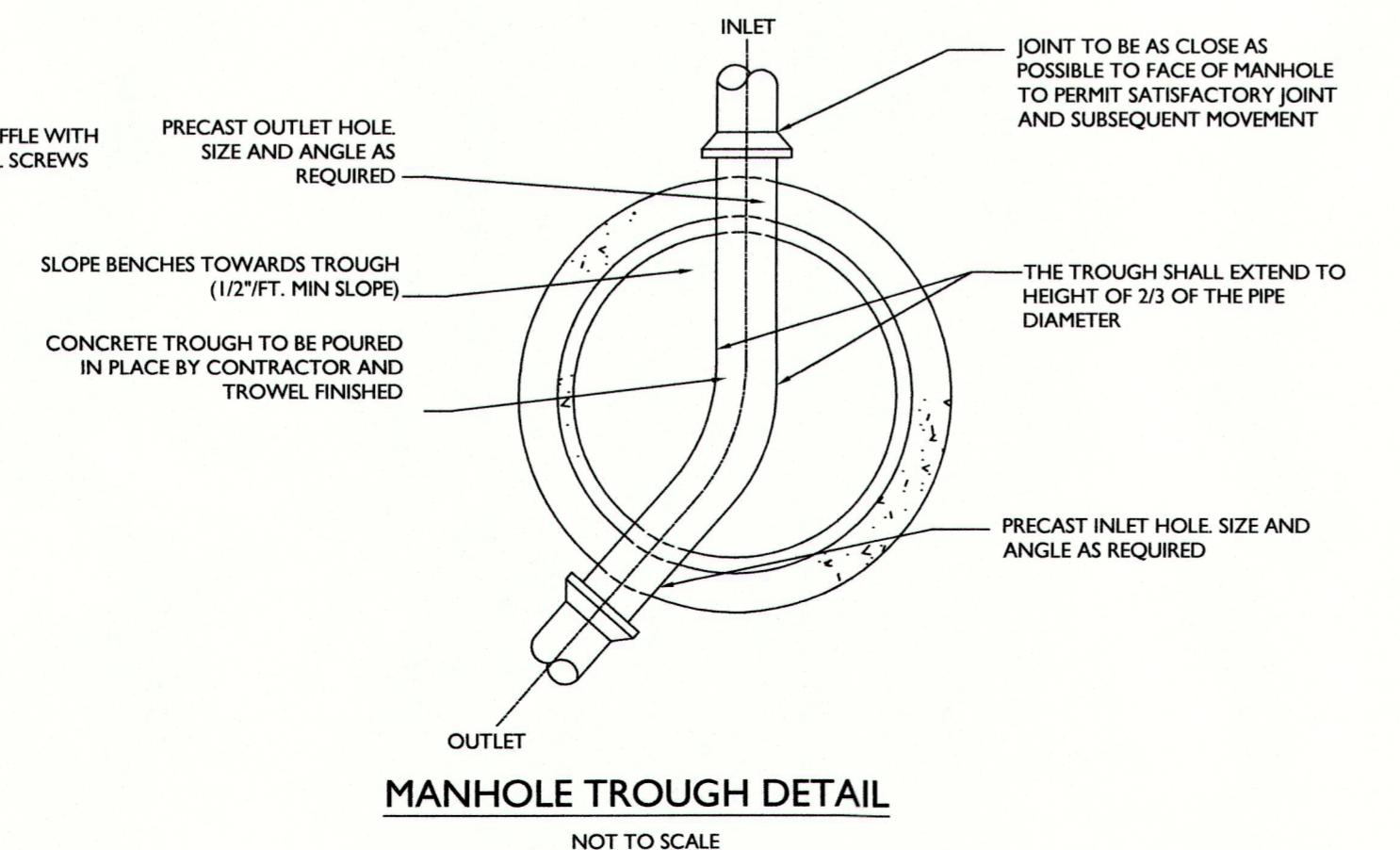
SANITARY SEWER TRENCH SECTION
NOT TO SCALE



GALLONS	L	W	H	LL	A	B	C	D	E	F
1,000	10'-9"	5'-11"	4'-9"	35"	38"	16"	43"	21"	18"	23"



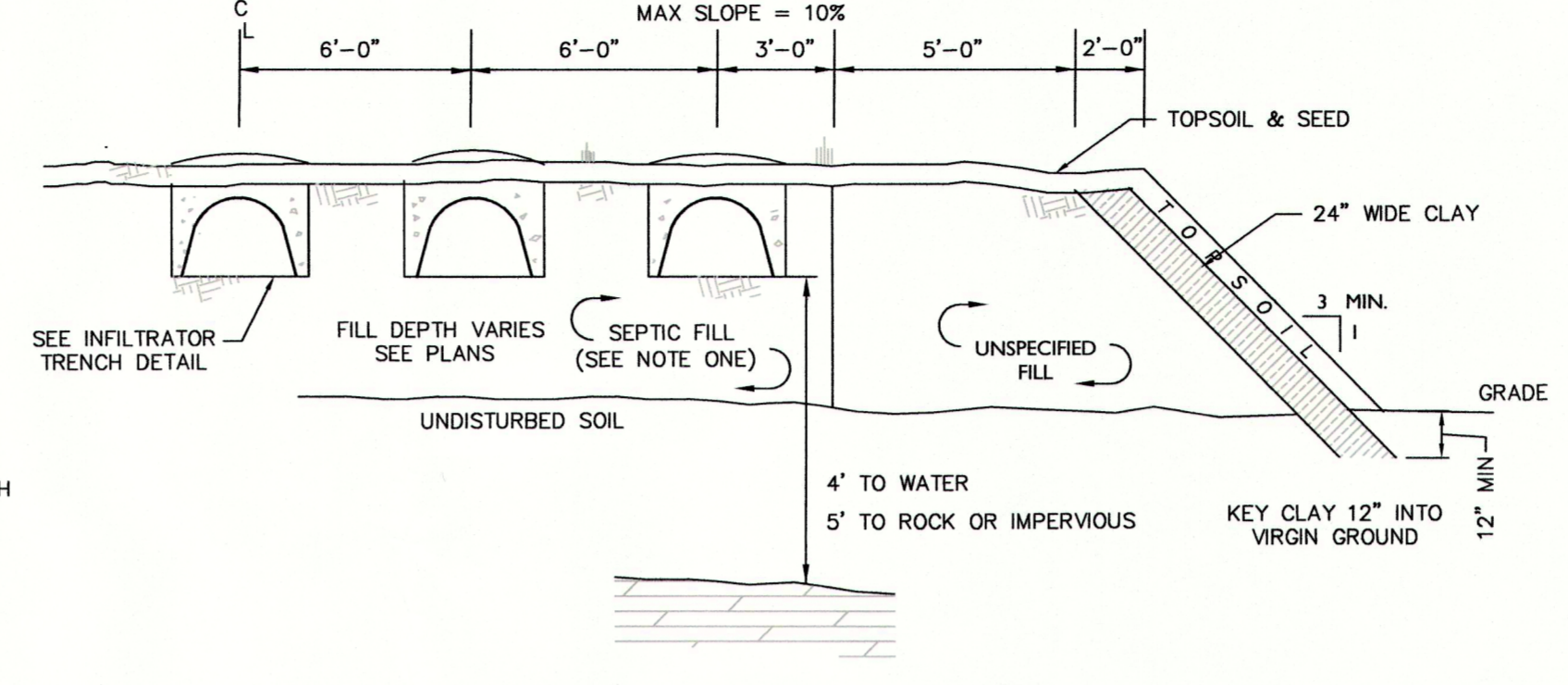
PRECAST H20 SEPTIC TANK DETAIL
NOT TO SCALE



MANHOLE TROUGH DETAIL
NOT TO SCALE

ADDITIONAL NOTES FOR FILL SECTIONS:

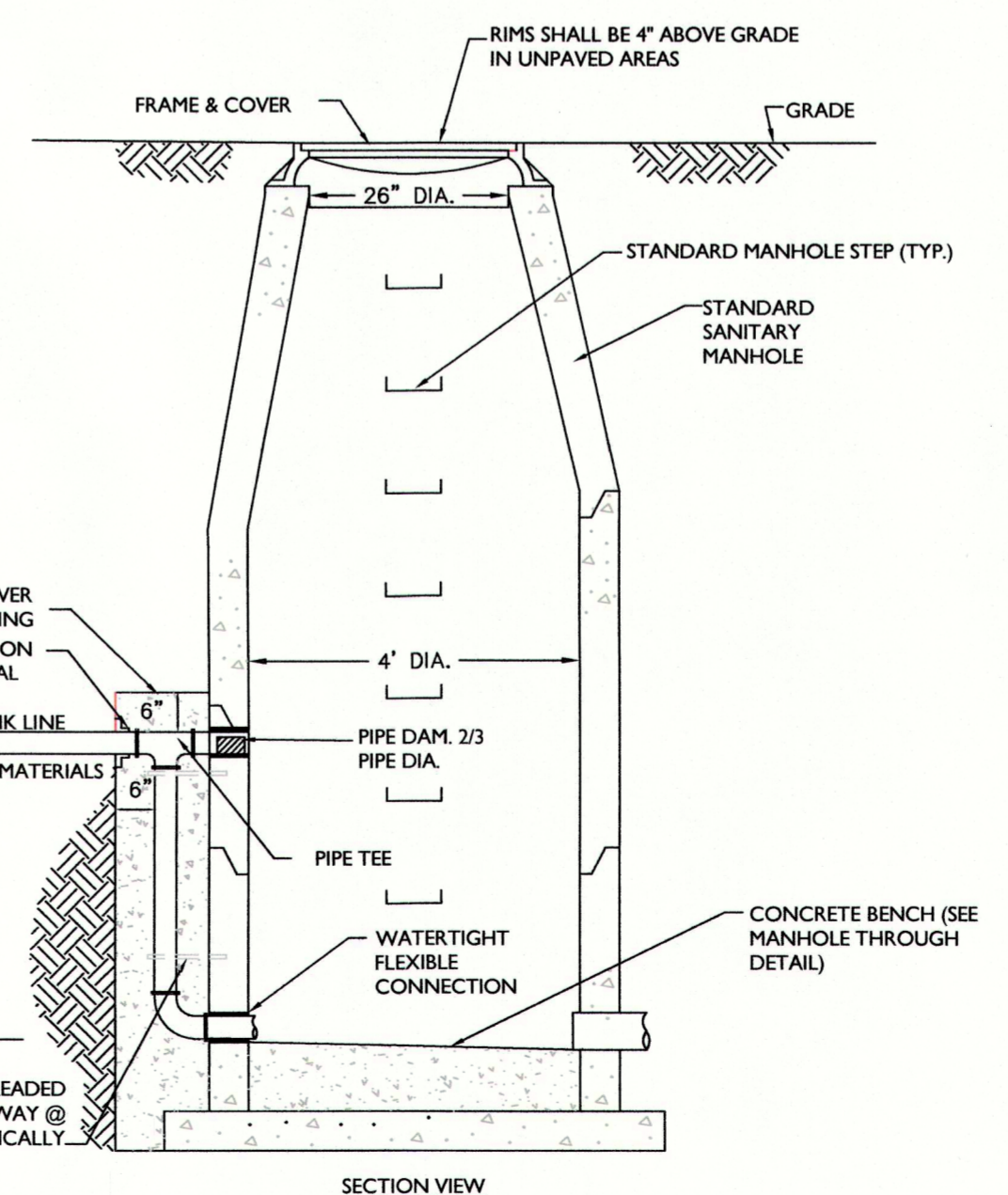
- SEPTIC FILL SPECIFICATION: SAND AND GRAVEL FILL, WITH A STABILIZED PERCOLATION RATE WHICH IS LESS THAN OR EQUIVALENT TO THE PERCOLATION RATE OF THE VIRGIN SOIL, AND NO MORE THAN 15 MINUTES PER INCH SHALL BE USED.
- A NEW YORK STATE REGISTERED DESIGN PROFESSIONAL SHALL CERTIFY IN WRITING THAT THE FILL MATERIAL IS IN THE PROPER LOCATION, OF THE PROPER QUANTITY AND DIMENSIONS, AND OF PROPER QUALITY. PROPER QUALITY MUST BE DEMONSTRATED BY STABILIZED PERCOLATION TESTS, THE RESULTS OF WHICH SHALL BE SUBMITTED WITH THE ENGINEER'S CERTIFICATION.
- PRIOR TO THE PLACEMENT OF THE FILL, THE AREA OF THE WORK SHALL BE CLEARED OF DEBRIS, AND ALL BRUSH, TREES, OR OTHER VEGETATION CUT TO THE LEVEL OF THE VIRGIN GROUND. NO TOPSOIL SHALL BE REMOVED UNLESS SPECIFICALLY INDICATED ON THE PLANS.
- THE FILL FOR THE PRIMARY AND RESERVE SYSTEM MUST BE INSTALLED AT THE TIME OF THE PRIMARY INSTALLATION.



TYPICAL FILL PAD SECTION DETAILS
NOT TO SCALE

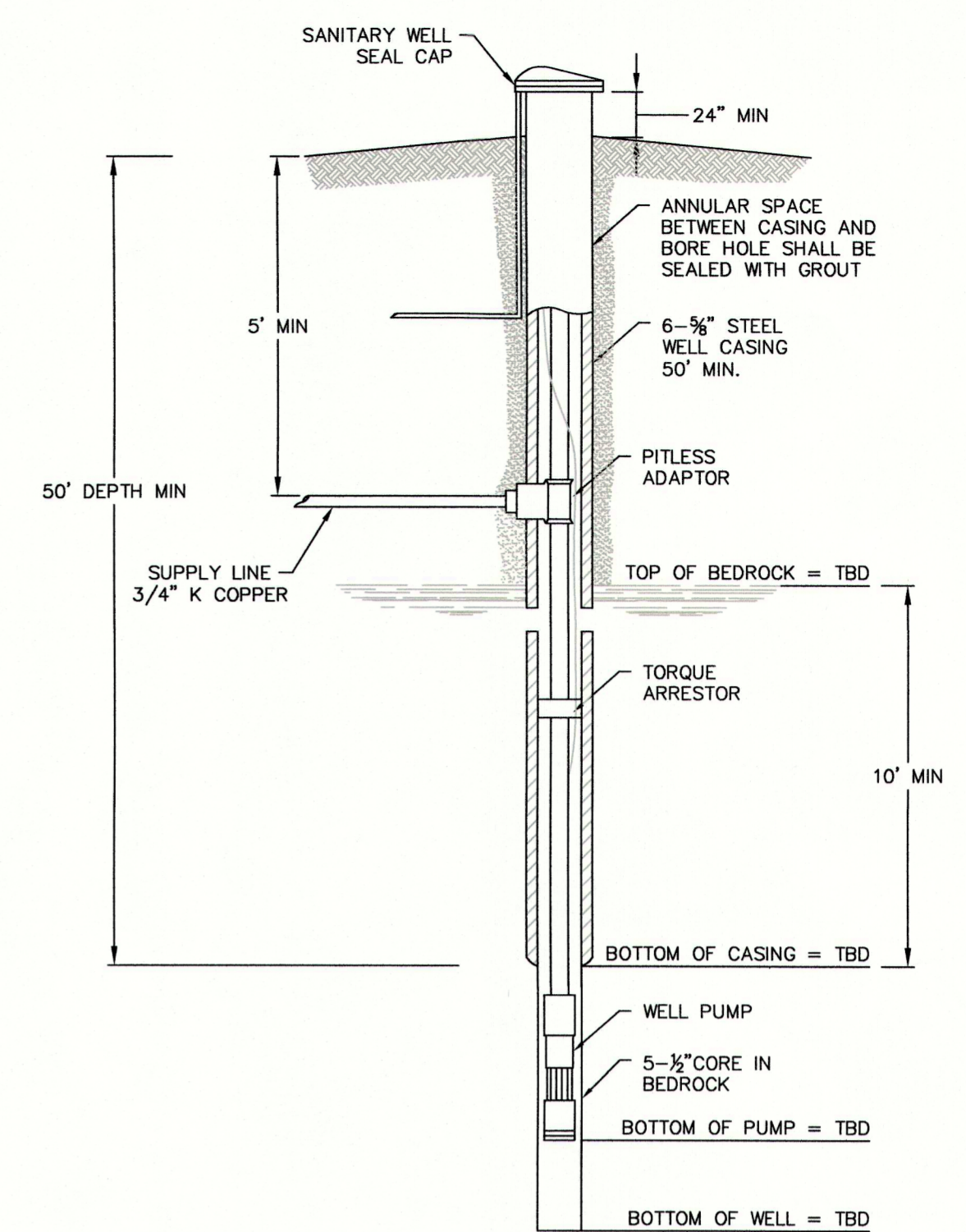
PRECAST H20 SEPTIC TANK NOTES

- NOTES:**
- CONTRACTOR SHALL PROVIDE A PRE-CAST WOODARDS 1,000 GAL H-20 SEPTIC TANK OR EQUIVALENT
 - THE CONTRACTOR SHALL SEAL PENETRATIONS IN SEPTIC TANK SO THAT THE SEPTIC TANK IS WATERTIGHT. THE TANK MUST HAVE A 24 HR HYDROSTATIC TESTS TO ENSURE WATER TIGHTNESS.
 - THE SEPTIC TANK SHALL BE CONSTRUCT FROM CONCRETE WHICH SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT STANDARD 28 DAY COMPRESSIVE TEST.
 - #4 & #5 REBAR SHALL BE USED AS A REINFORCEMENT FOR THE TANK. ALTERNATIVE REINFORCEMENT MAY BE PROVIDED IF ENGINEER DRAWINGS ARE PROVIDED BY THE MANUFACTURER.
 - TWO-PIECE TANKS SHALL BE SEALED WITH A BUTYL GASKET OR AS PER THE MANUFACTURERS RECOMMENDATIONS.
 - THE SEPTIC TANK SHALL BE DESIGNED FOR H-20 LOADING REQUIREMENTS.
 - THE CONTRACTOR SHALL SEAL THE JOINT BETWEEN THE TOP PF THE TANK & THE CAST IRON FRAME WITH A BUTYL SEALANT.
 - THE CONTRACTOR SHALL SEAL THE CONCRETE MANHOLE OPENINGS WITH A COAT OF BITUMASTIC SEALANT APPLIED TO THE SEAT OF THE MANHOLE.
 - THE FINISHED GRADE AROUND THE MANHOLE OPENINGS SHALL ENSURE THAT WATER WILL FLOW AWAY FROM THE LID.
 - THE CONTRACTOR SHALL ENSURE THAT THE FRAME & GRATE & THE SEPTIC TANK CAN SUSTAIN H-20 LOADING REQUIREMENTS BY PROVIDING TO THE CERTIFYING ENGINEER SHOP DRAWINGS FOR ACCEPTANCE PRIOR TO PERFORMING WORK.
 - IF SEGMENTED, THE CONTRACTOR SHALL PERFORM THE HYDROSTATIC TEST ON THE TANK UPON INSTALLATION AND PRIOR TO BACKFILLING, BY FILLING THE TANK TO THE BOTTOM OF THE CONCRETE LID WITH WATER AND VERIFYING THAT NO APPRECIABLE LOSS OCCURS DURING A 24 HOUR PERIOD. A NYS LICENSED PROFESSIONAL ENGINEER SHALL VERIFY IN WRITING TO THE DUTCHESS COUNTY DEPARTMENT OF HEALTH THE RESULTS OF THE HYDROSTATIC TEST. IF THE TANK IS NOT SEGMENTED THE HYDROSTATIC TEST CAN BE COMPLETED AFTER BACKFILLING THE TANK.
 - PROVIDE 6" BED OF 3/4" CRUSHED STONE.
 - THE FRAME & GRATE SHALL BE CASTING No. 6547 BY "CAMPELL", OR EQUAL. THE LID SHALL BE WATERTIGHT.
 - PROVIDING A MINIMUM OF 12" OF SOIL COVER WILL INSURE TANK CANNOT FLOAT AND WILL ELIMINATE THE NEED FOR ANTI-FLOATATION TABS.
 - MAINTENANCE IS TO BE DONE IN ACCORDANCE WITH THE NYSDEC DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTE WATER TREATMENT SYSTEMS AND THE TOWN OF HYDE PARK SEWER DEPARTMENT STANDARDS. A LOG IS TO BE COMPLETED AND KEPT ONSITE.



SANITARY SEWER DROP MANHOLE
NOT TO SCALE

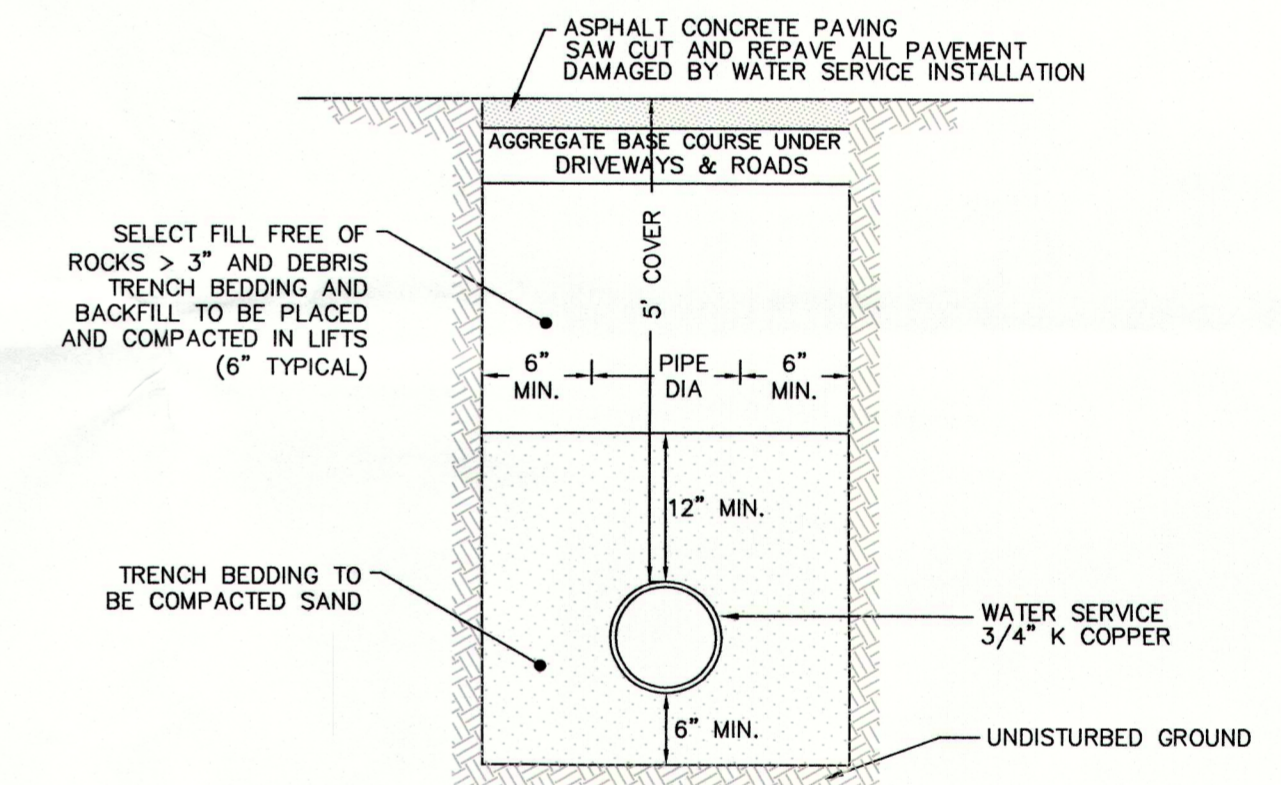
- NOTES:**
- COMPLETED MANHOLE STRUCTURE SHALL BE RATED FOR H-20 + 25% IMPACT LOADING.
 - ALL DROP MANHOLES SHALL RECEIVE SPLASH GUARD
 - MANUFACTURER TO BE WOODARDS OR APPROVED EQUAL



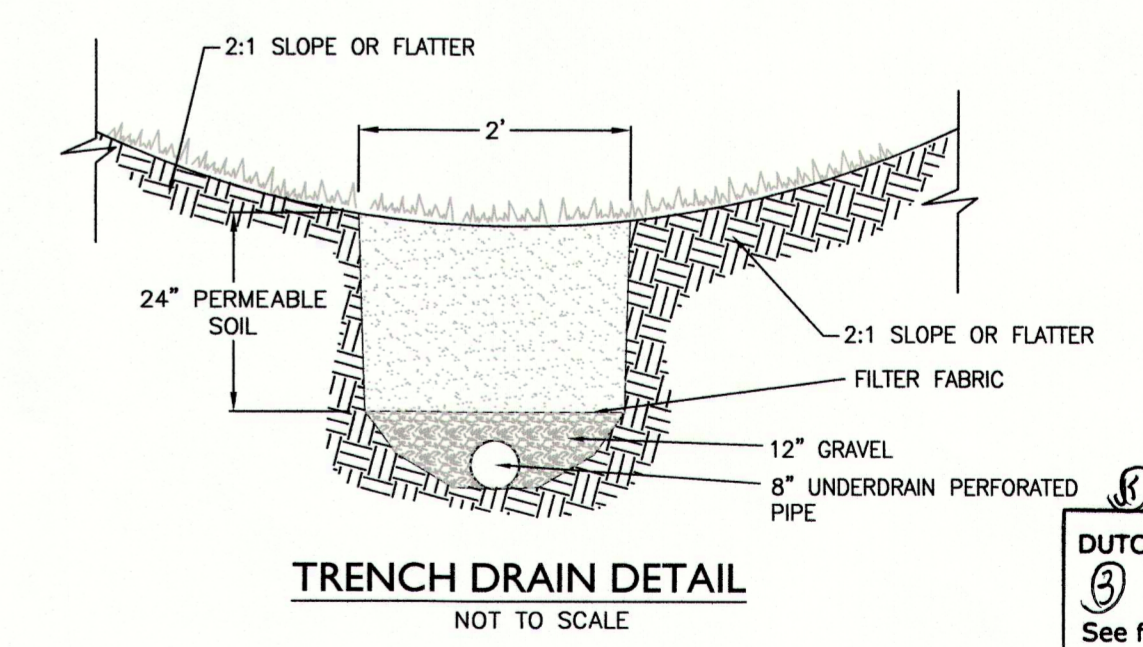
NOTES:

- DISINFECT WELL IN ACCORDANCE WITH AWWA STANDARD C654.
- WELL CONSTRUCTION SHALL CONFORM TO APPENDIX 5-B, STANDARDS FOR WATER WELLS.

WELL DETAIL
NOT TO SCALE



WATER SERVICE TRENCH
NOT TO SCALE



TRENCH DRAIN DETAIL
NOT TO SCALE

DUTCHESS COUNTY DEPT. OF HEALTH
Poughkeepsie New York
These plans are approved.
See first sheet for date and signature.

Date	Revised Per DCC/CH Comments
2/13/18	REVISED PER DCC/CH COMMENTS
2/16/18	REVISED PER DCC/CH COMMENTS
2/20/18	REVISED PER DCC/CH COMMENTS

LRC GROUP

- Land Planning
- Civil Engineering
- Environmental Services
- Land Surveying
- Landscape Architecture

85 Civic Center Plaza, Suite 103
Poughkeepsie NY 12601
Tel: 845.243.2880

100 West Street, Suite E
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Tel: 860.635.2877

60 Beaver Ave., Suite 5
Clinton, NJ 08809

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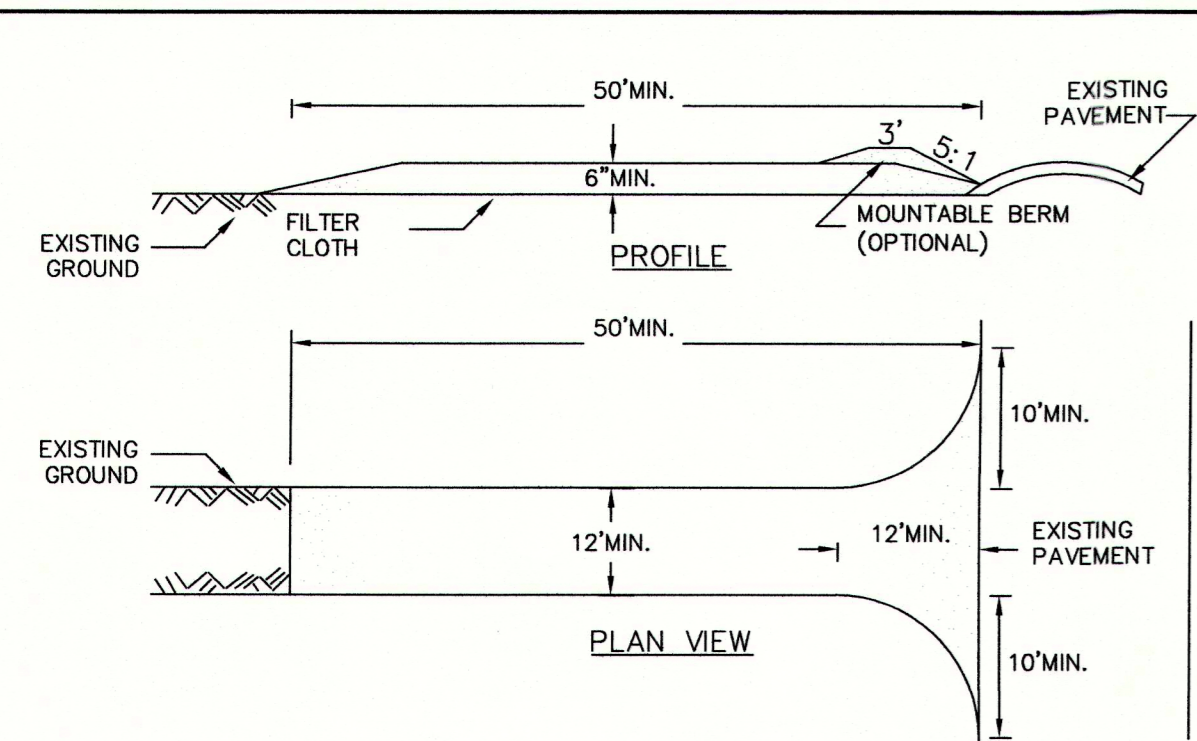
Land Resource Consultants, Inc.
LRC Engineering and Surveying, D.P.C.
LRC Environmental Services, Inc.
LRC Engineering and Surveying, LLC

SANITARY DETAILS

SEIDMAN RESIDENCE
60 MILLS CROSS ROAD
TOWN OF HYDE PARK,
DUTCHESS COUNTY, NEW YORK

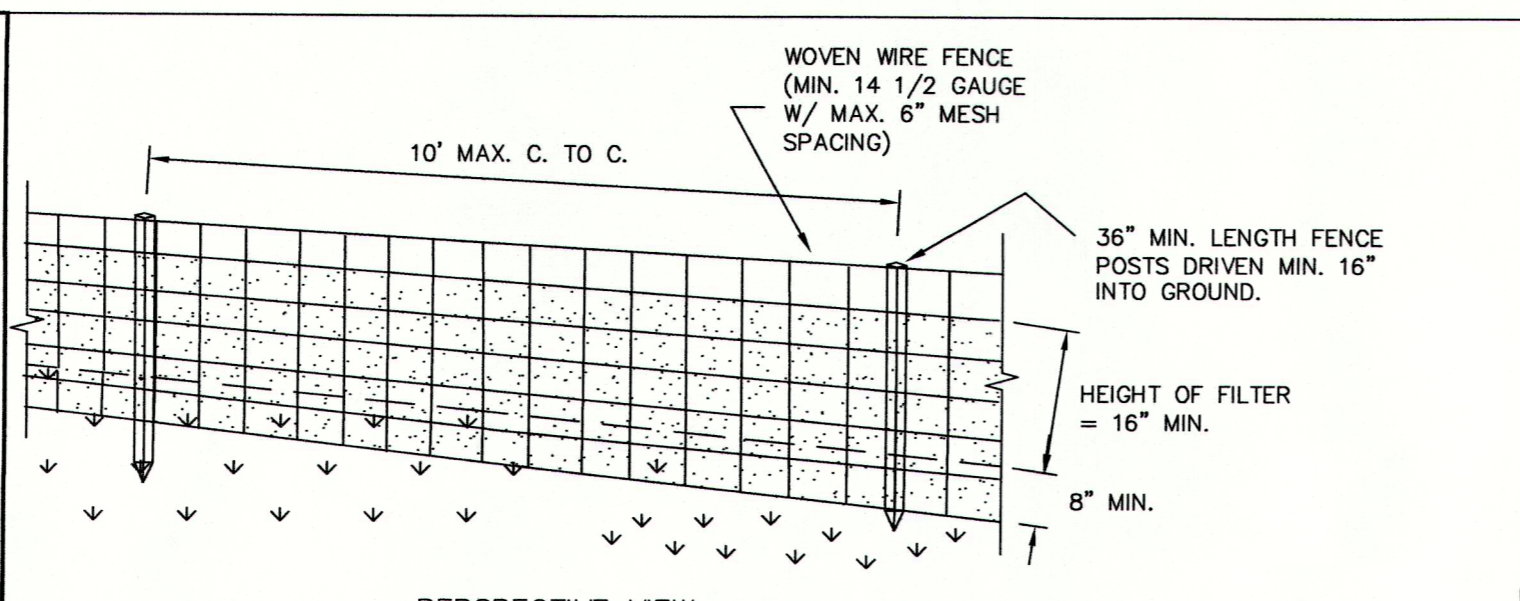
Designed	SMO	CAD File	DN17219701	Sheet No.
Drawn	SMC	Project No.	17-2197	C-102
Checked	REM	Date	2018.01.24	
Approved	REM	Scale	1"=20'	

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Lspc:lj

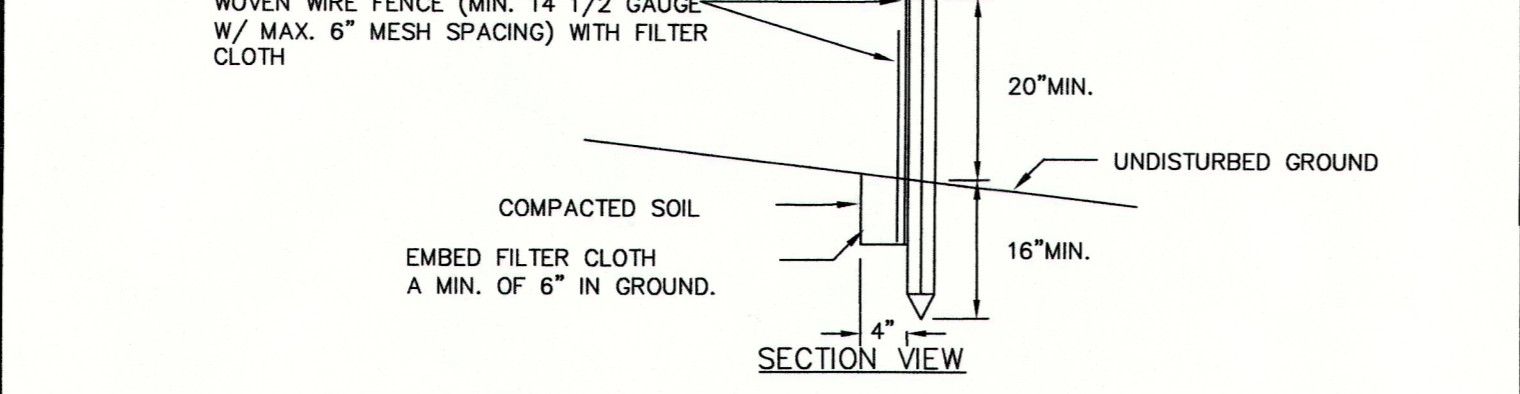


CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1"-4" ANGULAR STONE, OR RECLAIMED OR RECYCLED CONCRETE UNITS.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

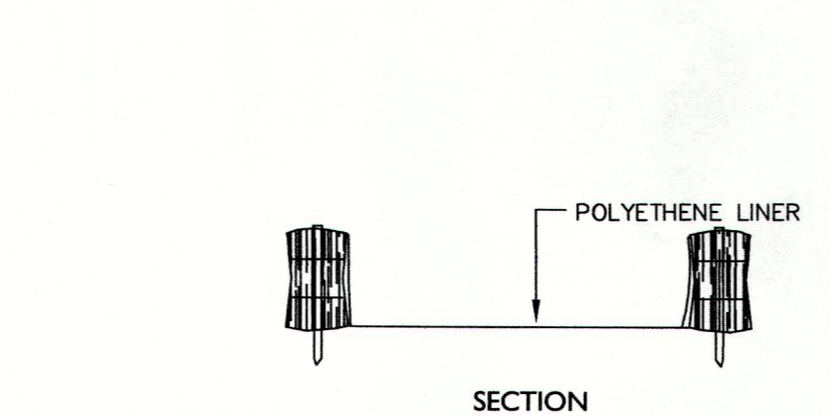


CONSTRUCTION SPECIFICATIONS

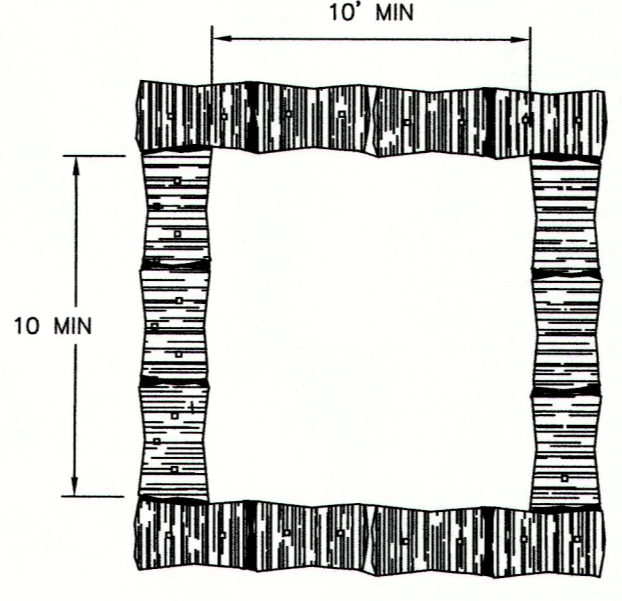


CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



SECTION

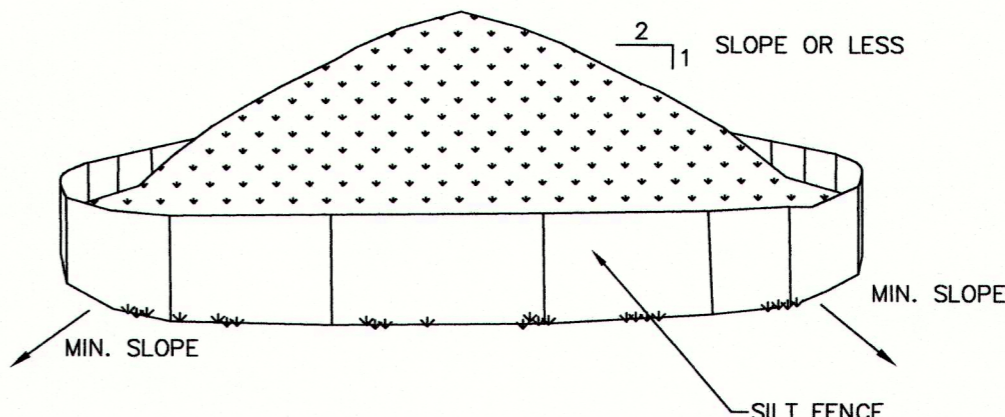


PLAN

- NOTES:**
- CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - REMOVE HARDENED CONCRETE WHEN WITHIN 4" FROM TOP OF STRUCTURE.
 - CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL. IF CONCRETE HAS NOT HARDENED CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITY IS TWO-THIRDS FULL.
 - LINERS, HAYBALES, ETC SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIRED PROMPTLY.
 - SEPARATE FACILITIES TO BE USED FOR VEHICLE WASHING IF NEEDED.
 - NO CONCRETE IS TO BE WASHOUT ON THE GROUND IN ANY LOCATION.

ABOVE GROUND TEMPORARY CONCRETE/VEHICLE WASHOUT FACILITY
NOT TO SCALE

MATERIALS STOCKPILE
NOT TO SCALE



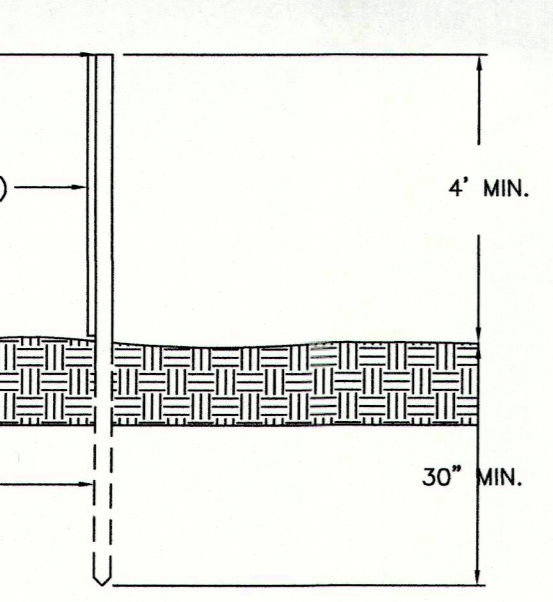
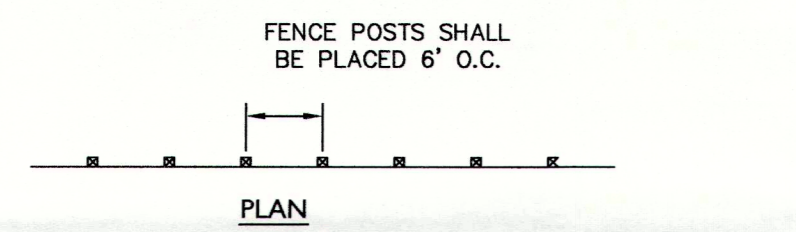
- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
 - HAYBALES OR SILT SOCKS TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

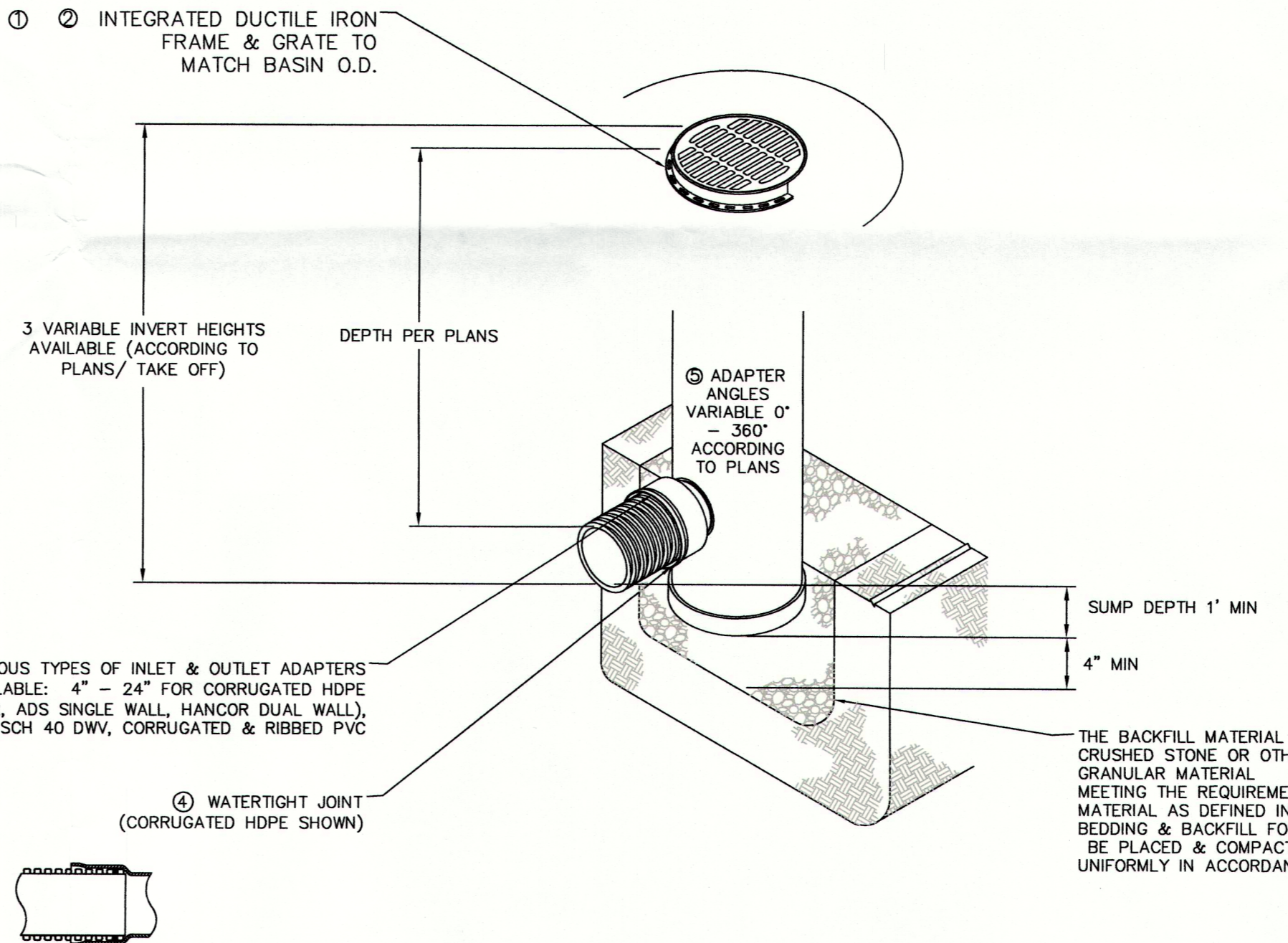
STABILIZED CONSTRUCTION ENTRANCE

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE



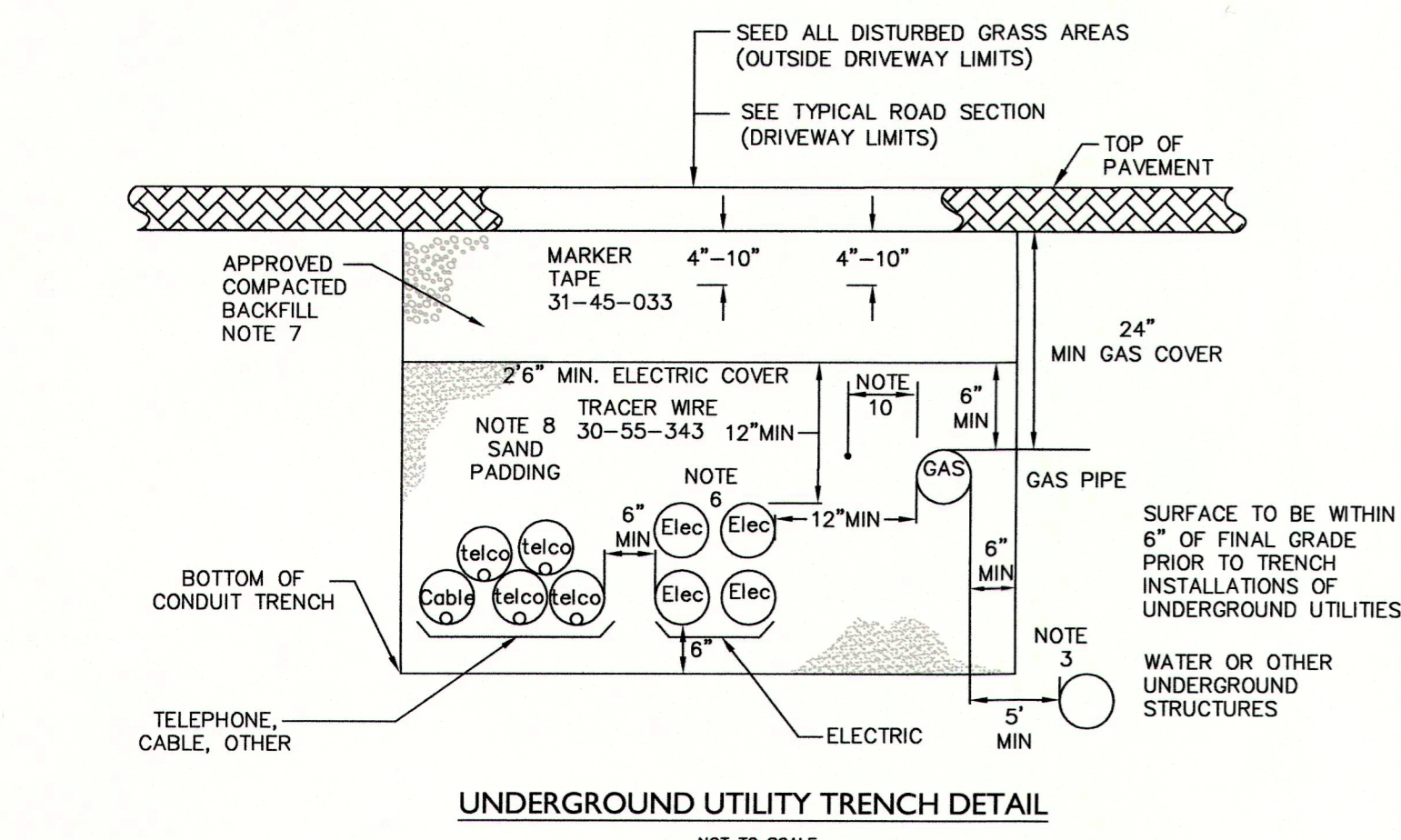
SECTIONAL ELEVATION ORANGE CONSTRUCTION FENCE
NOT TO SCALE



- INTEGRATED DUCTILE IRON FRAME & GRATE TO MATCH BASIN O.D.
- VARIABLE INVERT HEIGHTS AVAILABLE (ACCORDING TO PLANS / TAKE OFF)
- VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" - 24" FOR CORRUGATED HOPE (ADS N-12, ADS SINGLE WALL, HANCOR DUAL WALL), SDR 35, SCH 40 DWV, CORRUGATED & RIBBED PVC
- WATERTIGHT JOINT (CORRUGATED HDPE SHOWN)
- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC. ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-013.

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--	--	---	--	---

NYLOPLAST 24" DRAIN BASIN:
NOT TO SCALE



UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE

UNDERGROUND GAS AND ELECTRIC NOTES:

- THE CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE UTILITY PROVIDERS TO DETERMINE THE LOCATION OF ALL UNDERGROUND ELECTRIC, GAS, CABLE, FIBER, OR TELECOMMUNICATIONS.
- THE MINIMUM CLEARANCE FROM GAS AND ELECTRIC TO OTHER "DRY" UTILITIES SUCH AS TEL. COM. AND CABLE SHALL BE 6".
- THE MINIMUM CLEARANCE FROM GAS AND ELECTRIC TO OTHER "WET" UTILITIES SUCH AS WATER & SEWER SHALL BE 12". CONSULT WITH OTHER UTILITIES OR REVIEW LOCAL ORDINANCES FOR ADDITIONAL CLEARANCE REQUIREMENTS. IF 12" CLEARANCE IS NOT POSSIBLE REFER TO FIGURE 19 (CENTRAL HUDSON DESIGN GUIDELINES)
- ALL OTHER UTILITY SEPARATIONS SHOULD BE MAINTAINED AS OUTLINED IN THE DETAIL. IF SEPARATIONS CAN NOT BE ACHIEVED FOR ANY REASON APPROVAL MUST BE OBTAINED FROM UTILITY PROVIDER.
- IF A COMMON TRENCH IS PROVIDED GAS SHALL BE INSTALLED ON THE FIELD OR HOUSE SIDE OF THE ELECTRIC.
- SPACING SHALL BE MAINTAINED FOR CONCRETE ENCASED DUCTS.
- COMPACTED SELECT BACKFILL MAY BE ON-SITE MATERIAL PROVIDED IT CONTAINS NO ROCKS OR STONES OVER 6" DIAMETER, ROOTS, STUMPS, OR CONSTRUCTION DEBRIS.
- SANDPADDING SHALL BE IMPORTED NATURAL OR MANUFACTURED CONCRETE SAND. IT SHALL CONSIST OF HARD, STRONG, DURABLE PARTICLES FREE OF CLAY, LOAM, OR HARMFUL SUBSTANCES. THE MATERIAL SHALL BE SCREENED TO BE FREE OF SHARP STONES OR STONES LARGER THAN 1/4 INCH. THE COLOR OR CONSISTENCY SHALL BE SIGNIFICANTLY DIFFERENT FROM NATIVE MATERIAL.
- ELECTRICAL AND COMMUNICATIONS CABLES SHALL BE COVERED WITH A MINIMUM 12" OF SAND PADDING. GAS MAINS SHALL BE COVERED WITH A MINIMUM OF 6 INCHES OF SAND PADDING.
- LOCATE TRACER WIRE A SUFFICIENT DISTANCE FROM PLASTIC PIPE TO MINIMIZE TRACER WIRE TO PIPE CONTACT.
- ALL UNDERGROUND ELECTRICAL SHALL BE IN ACCORDANCE WITH THE LATEST ADDITION OF THE NATIONAL ELECTRIC CODE, AND OTHER LOCAL CODES AND STANDARDS.
- ALL UTILITIES SHALL BE PLACED IN UNDERGROUND SCHEDULE 40 PVC CONDUIT. ALL RISERS OR PENETRATIONS SHALL BE IN SCHEDULE 80 PVC OR GALVANIZED STEEL PIPE.

EROSION AND SEDIMENT CONTROL PLAN

- LAND DISTURBANCE WILL BE KEPT TO A MINIMUM; RESTABILIZATION WILL BE SCHEDULED AS SOON AS PRACTICABLE.
- HAY BALE FILTERS OR SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE NEW YORK STATE EROSION & SEDIMENT CONTROL "BLUE BOOK" 2005.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
- ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- DUST CONTROL AND ANTI-TRACKING MAINTENANCE TO BE ADDRESSED AND RESOLVED ON A DAILY BASIS.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE**
 - DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
 - POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 2.0 FEET INTO THE GROUND.
 - LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
 - BACKFILL THE TRENCH AND COMPACT.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE**

ALL SILTATION FENCES SHALL BE INSPECTED ONCE EVERY SEVEN DAYS. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.

SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
- STABILIZED CONSTRUCTION ENTRANCE**

STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED DAILY BY THE QUALIFIED INSPECTOR TO ENSURE THAT SEDIMENT AND DEBRIS ARE NOT BEING TRACKED ONTO ANY PUBLIC ROADWAY.

TEMPORARY VEGETATIVE STABILIZATION

- ESTABLISHMENT OF TEMPORARY STANDS OF GRASS BY SEEDING AND MULCHING EXPOSED SOILS THAT WILL BE EXPOSED. SEED BARE SOIL WITHIN SEVEN (7) DAYS OF EXPOSURE. UNLESS CONSTRUCTION WILL BEGIN WITHIN FOURTEEN (14) DAYS, IF CONSTRUCTION IS SUSPENDED, OR SECTIONS COMPLETED, AREAS SHOULD BE SEEDING DOWN OR MULCHED IMMEDIATELY. THIS WILL TEMPORARILY STABILIZE THE SOIL WITH A VEGETATIVE COVER THAT WILL PREVENT DAMAGE FROM WIND AND WATER EROSION AND SEDIMENTATION.
- INSTALLATION: FERTILIZING, SEEDING, AND MULCHING WILL BE USED AS A TEMPORARY E&S CONTROL MEASURE ON ALL NON-PAVED DISTURBED AREAS. EXPOSED SOILS NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE SEEDING OR COVERED BY MULCH WITHIN 7 DAYS, INCLUDING STOCKPILED SOIL MATERIALS. WITH REGARD TO THE TEMPORARY SEED MIX, REFER TO THE SEEDING MIXTURE TABLE PROVIDED ON THE E&S CONTROL PLAN DETAIL SHEET.
- OPERATIONS AND MAINTENANCE: INSPECT SEEDING AREA AT LEAST ONCE A WEEK FOR SEED AND MULCH MOVEMENT AND RILL EROSION. WHERE SEED HAS MOVED OR WHERE SOIL EROSION HAS OCCURRED, DETERMINE CAUSE OF THE FAILURE. BIRD FEEDING MAY BE A PROBLEM IF MULCH WAS APPLIED TOO THINLY TO PROTECT SEED. RE-SEED AND RE-MULCH. IF MOVEMENT WAS A RESULT OF WIND, REPAIR EROSION DAMAGE, REAPPLY SEED, MULCH AND APPLY MULCH ANCHORING. IF FAILURE WAS CAUSED BY CONCENTRATED RUNOFF, INSTALL ADDITIONAL MEASURES TO CONTROL WATER AND SEDIMENT MOVEMENT, REPAIR EROSION DAMAGE, RE-SEED AND RE-APPLY MULCH WITH ANCHORING OR USE EROSION CONTROL BLANKET.

SEEDING AND MULCHING

ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN 7 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE SEEDING AND MULCHING. DISTURBED AREAS SHALL BE LIMITED AND BE COVERED WITH A LAYER OF TOPSOIL PRIOR TO SEEDING. SEEDING WILL BE INSPECTED FOR BARE SPOTS, WASH OUTS, AND HEALTHY GROWTH. IF REQUIRED ADDITIONAL SEEDING SHALL BE PERFORMED. THE SEED MIX SPECIFIED FOR THIS SITE IS FROM THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, TABLE 3.2 (SITE CHOICE 1B) WHICH IS AS FOLLOWS:

SPECIES (% by weight)	Pure Live Seed Values lbs/1000SF	lbs/acre
15% fine fescue	2.0 - 2.5	85 - 114
20% perennial ryegrass	0.6 - 0.8	26 - 35
65% kentucky bluegrass blend	0.4 - 1.6	19 - 26
	3.0 - 4.0	130 - 175

DUTCHESS COUNTY DEPT. OF HEALTH
Poughkeepsie New York
These plans are approved.
See first sheet for date and signature.

EROSION CONTROL DETAILS

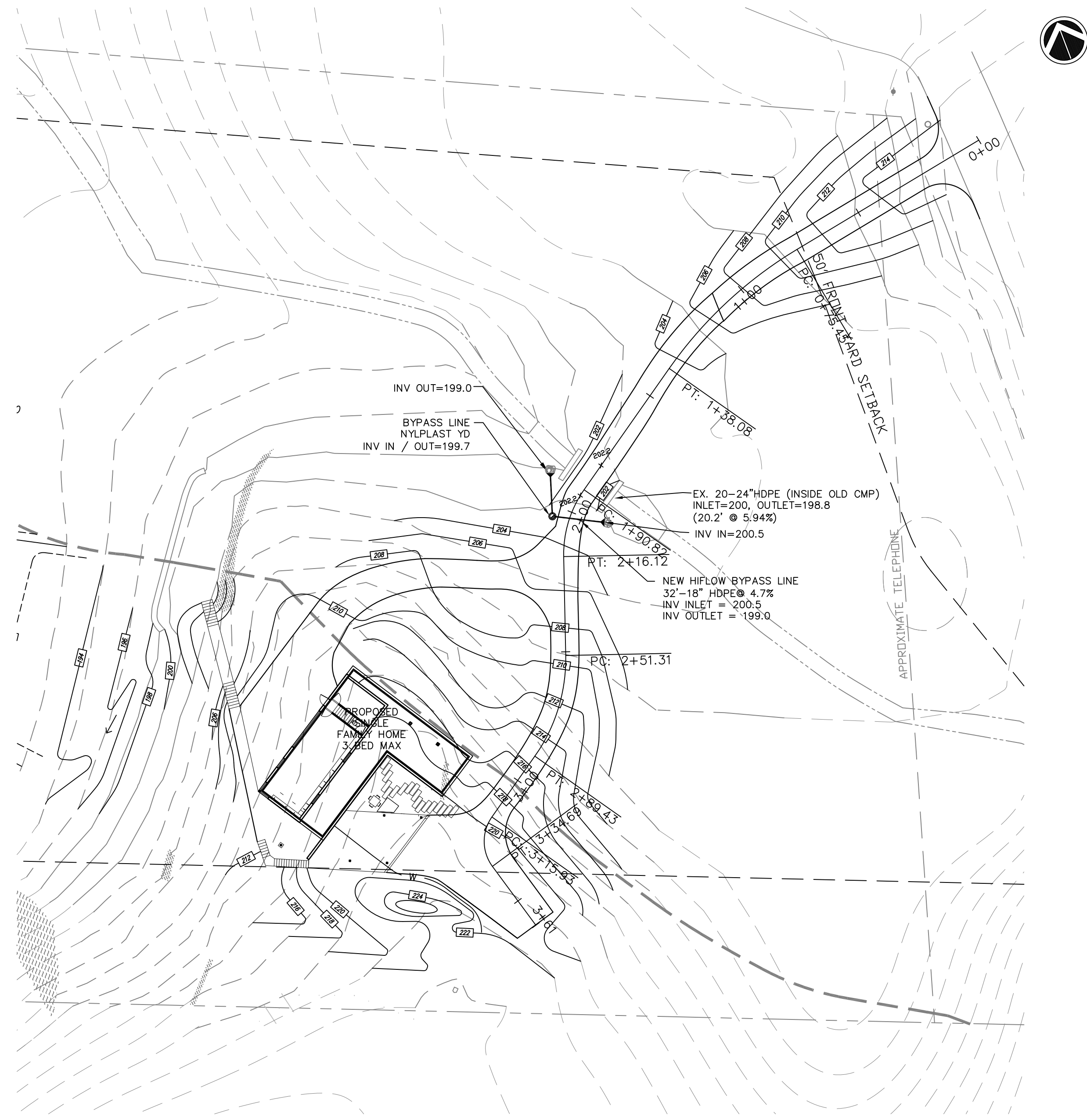
SEIDMAN RESIDENCE
60 MILLS CROSS ROAD
TOWN OF HYDE PARK,
DUTCHESS COUNTY, NEW YORK

Designed	SNO	CAD File	DN17219702	Sheet No.
Drawn	SMC	Project No.	17-2197	C-103
Checked	REM	Date	2018.01.24	
Approved	REM	Scale	1"=20'	

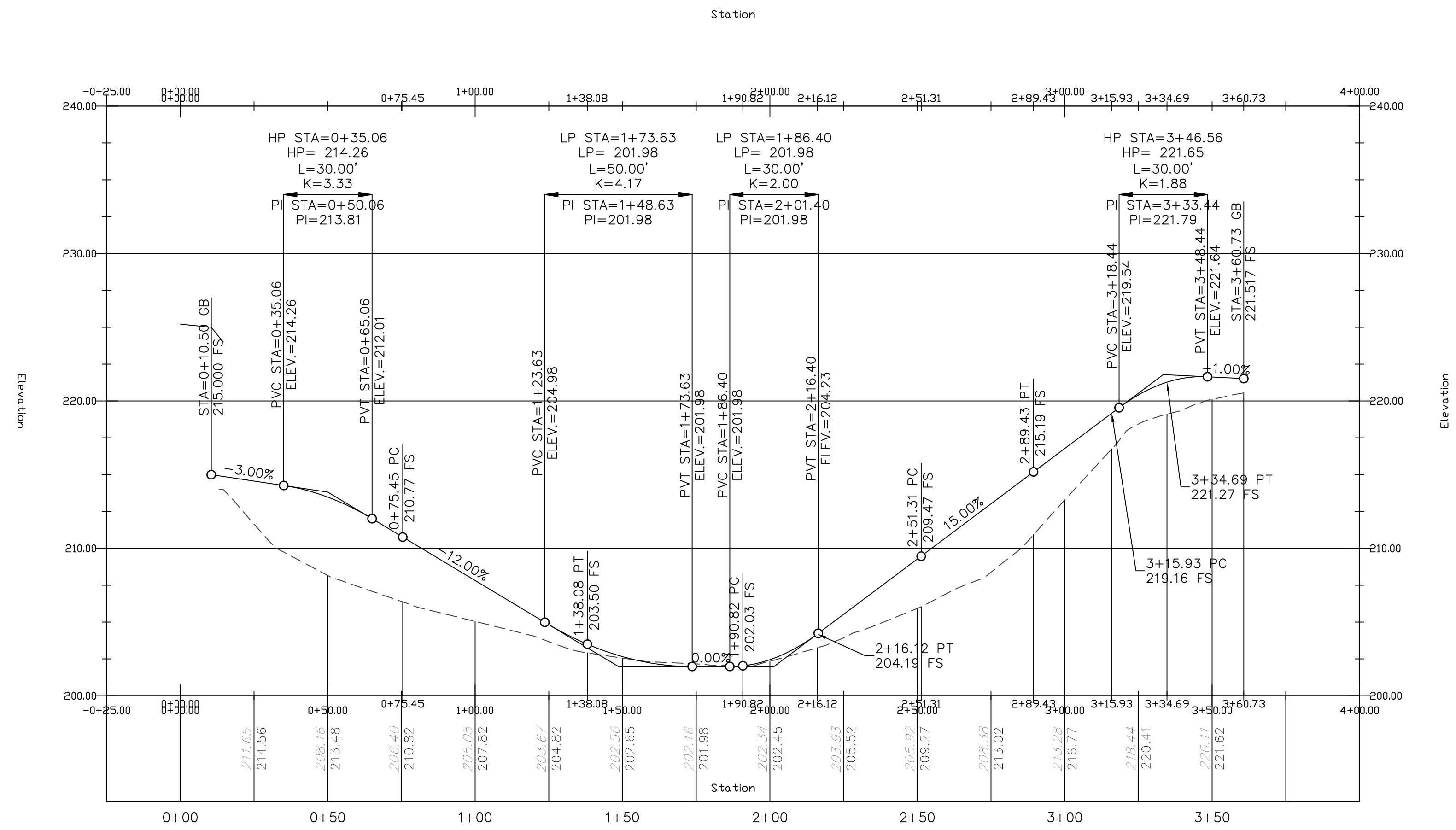
LRC
Land Resources Consultants, Inc.
85 Civic Center Plaza, Suite 103
Poughkeepsie NY 12601
Tel 845.243.2880
100 West Street, Suite E
Cromwell, CT 06414
Tel 860.635.2877
90 Weaver Ave, Suite 1
Cromwell, CT 06414
Tel 860.603.5730
www.lrcconsult.com



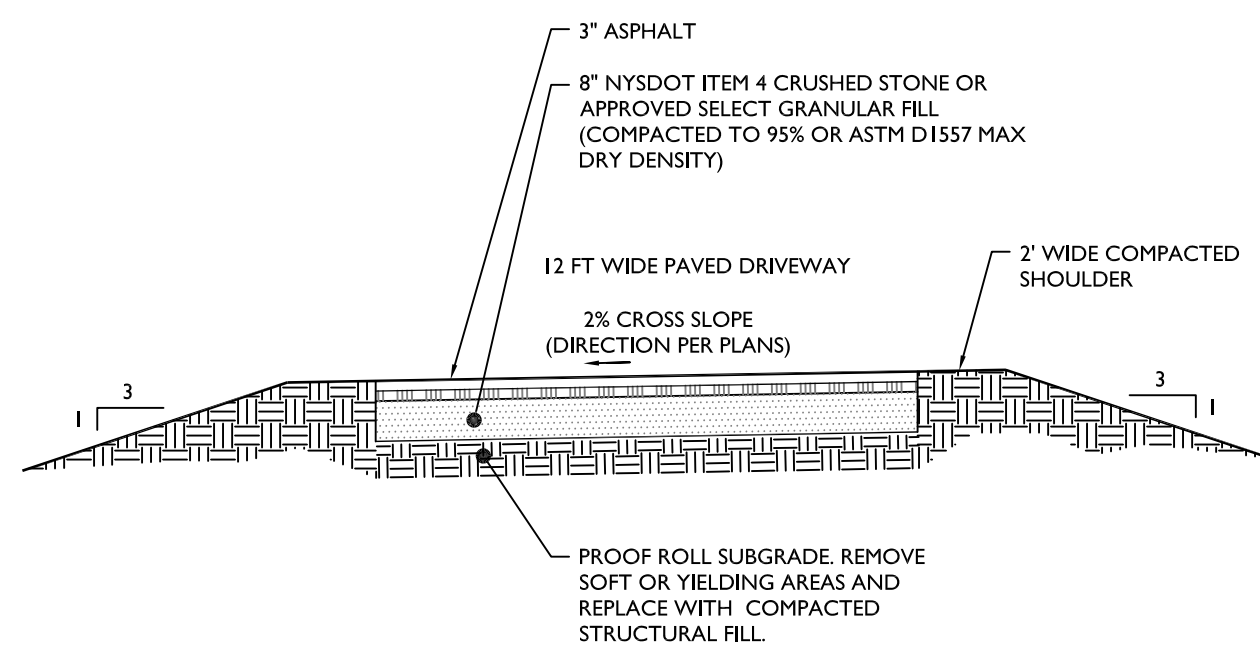
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Layout: Layout



PLAN VIEW
SCALE: 1"=30'



PROFILE VIEW
SCALE: 1"=30'



STANDARD DRIVEWAY DETAIL
NOT TO SCALE

COMPACTION AND BACKFILL NOTES:

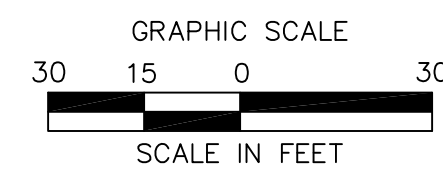
- UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE SITE ENGINEER, ALL SITE SUBGRADE AND BACKFILL FOR ALL STRUCTURES INCLUDING, BUT NOT LIMITED TO, PARKING SPOT SUBGRADE, DRIVEWAY SUBGRADE, CONCRETE PADS AND SIDEWALKS, WATER LINES AND STRUCTURES, SEWER LINES AND STRUCTURES, STORM LINES AND STRUCTURES, AND SITE ELECTRICAL AND CONDUIT, SHALL BE COMPACTED IN ACCORDANCE WITH THE FOLLOWING STANDARD:
- METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008, AND ALL ADDENDA THERETO.
- ALL FILL MATERIAL TO BE RUN OF BANK GRAVEL, FREE OF DEBRIS AND ORGANIC MATERIAL.

FINAL SEEDING AND MULCHING:

- GENERAL LAWN SEEDING MIX - ALL AREAS WITHIN CENTER OF THE GRAVEL DRIVE.**
 - 15% KENTUCKY BLUEGRASS (POA PRATENSIS - SINGLE VARIETY)
 - 15% PERENNIAL RYEGRASS (LOLIUM PERENNE)
 - 30% CREEPING RED FESCUE (FESTUCA RUBRA "SHADEMASTER II")
 - 25% CHEWINGS FESCUE (FESTUCA RUBRA "JAMESTOWN II")
 - 15% HARD FESCUE (FESTUCA OVINA "RELIANT II")

SEEDING RATE: 4.5 LBS PER 1,000 S.F. (ADD 10% TO QUANTITY IF HYDROSEEDING).
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- LOW MEADOW/WILDFLOWER SEED MIX TO BE USED OUTSIDE OF PROPOSED GRAVEL DRIVE.**
 - "LOW-GROWING WILDFLOWER/GRASS" - ERNMX-156 AS A BLENDED BY ERNST CONSERVATION SEEDS, MEADVILLE, PA; 1-800-875-3321.

SEEDING RATE: 5 LB. PER 1,000 S.F. (OR 16 LBS. PER ACRE).
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.



REVISIONS PER CDC/CRH COMMENTS Date: 2/13/18 #1		 • Land Planning • Civil Engineering • Environmental Services • Land Surveying • Landscape Architecture 85 Civic Center Plaza, Suite 103 Poughkeepsie, NY 12601 Tel: 845.543.2800 160 West Street, Suite E Cromwell, CT 06416 Tel: 860.632.2877 90 Beaver Ave, Suite 5 Clinton, NJ 08809 Tel: 908.493.5730 www.lrcconsult.com Land Resource Consultants, Inc. LRC Engineering and Surveying, D.P.C. LRC Environmental Services, Inc. LRC Engineering and Surveying, LLC			
Designed	SMC		CAD File	PP17219701	Sheet No.
Drawn	SMC		Project No.	17-2197	C-104
Checked	REM		Date	2018.01.24	
Approved	REM	Scale	1"=30'		

PLAN AND PROFILE

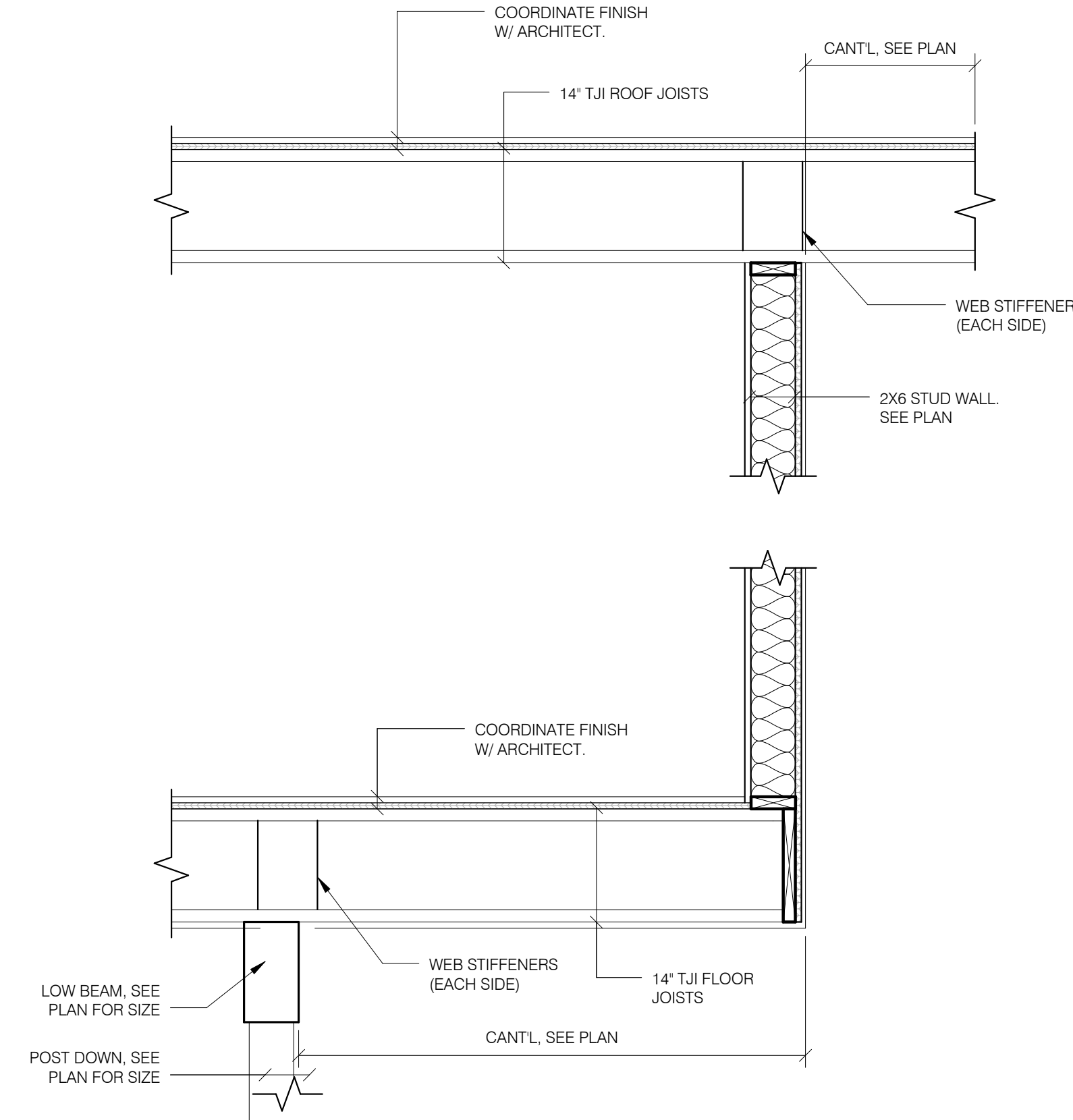
SEIDMAN RESIDENCE
60 MILLS CROSS ROAD
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DUTCHESS COUNTY, NEW YORK

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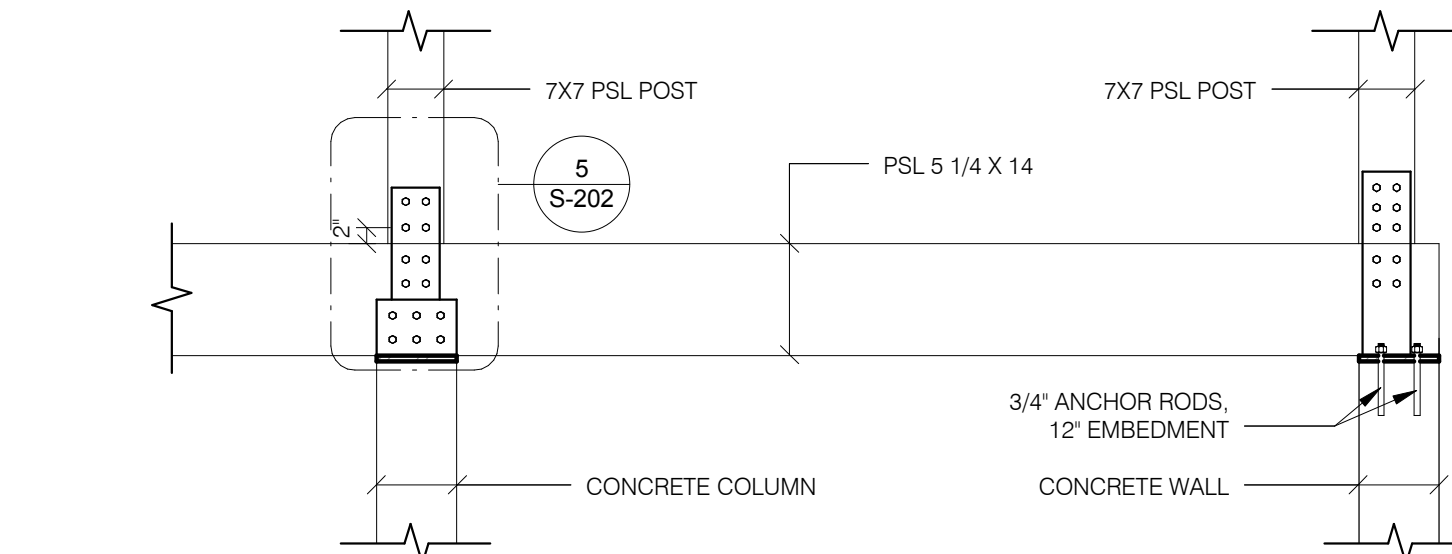
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MULTIPLE-MEMBER CONNECTIONS							
CONNECTOR TYPE	CONNECTOR PATTERN						
	ASSEMBLY A	ASSEMBLY B	ASSEMBLY C	ASSEMBLY D	ASSEMBLY E	ASSEMBLY F	ASSEMBLY F
6	3 1/2"	5 1/4"	5 1/4"	7"	7"	7"	7"
12	2 - PLY	3 - PLY	2 - PLY	3 - PLY	2 - PLY	4 - PLY	4 - PLY
18	10d (0.128" X 3") NAIL	10d (0.128" X 3") NAIL	10d (0.128" X 3") NAIL	10d (0.128" X 3") NAIL	10d (0.128" X 3") NAIL	10d (0.128" X 3") NAIL	10d (0.128" X 3") NAIL
24	SDS SCREWS 1/4"X3 1/2" OR WS35 1/4" X 6" OR WS6 (1)	SDS SCREWS 1/4"X3 1/2" OR WS35 1/4" X 6" OR WS6 (1) (2)	SDS SCREWS 1/4"X3 1/2" OR WS35 1/4" X 6" OR WS6 (1)	SDS SCREWS 1/4"X3 1/2" OR WS35 1/4" X 6" OR WS6 (1)	SDS SCREWS 1/4"X3 1/2" OR WS35 1/4" X 6" OR WS6 (1) (3)	SDS SCREWS 1/4"X3 1/2" OR WS35 1/4" X 6" OR WS6 (1) (3)	1/2"Ø THROUGH BOLT @ 12" O.C. (5)
4	3 3/8" OR 5" TRUSSLOK	3 3/8" OR 5" TRUSSLOK (2)	3 3/8" OR 5" TRUSSLOK	3 3/8" OR 5" TRUSSLOK	3 3/8" OR 5" TRUSSLOK (4)	3 3/8" OR 5" TRUSSLOK (4)	

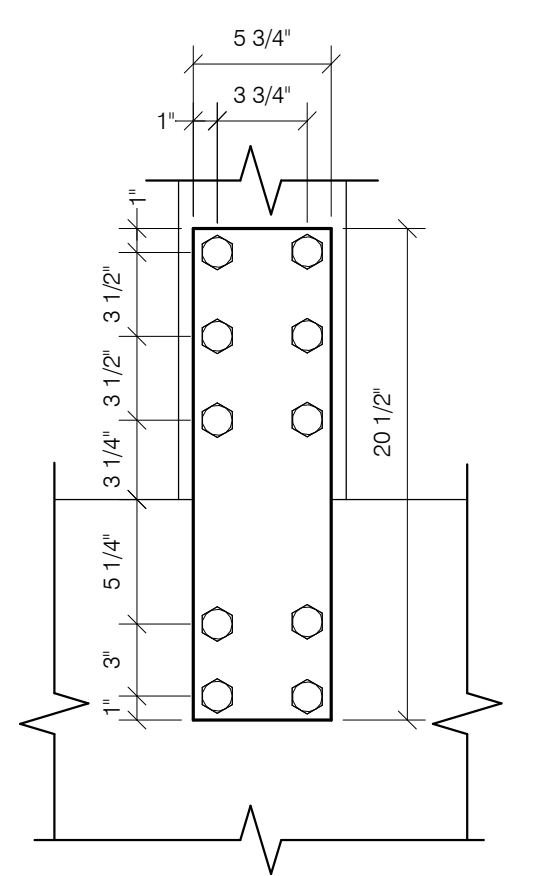
NOTE:
 (1) 6" SDS OR SW SCREWS CAN BE USED WITH PARALLAM PSL AND MICROLLAM LVL, BUT ARE NOT RECOMMENDED FOR TIMBERSTRAND LSL.
 (2) 3 1/2" AND 3 5/8" LONG SCREWS MUST BE INSTALLED ON BOTH SIDES.
 (3) 6" LONG SCREWS REQUIRED.
 (4) 5" LONG SCREWS REQUIRED.
 (5) BOLTS ARE TO BE MATERIAL CONFORMING TO ASTM STANDARD A307 (MACHINE BOLTS). BOLT HOLES ARE TO BE THE SAME DIAMETER AS THE BOLT, AND LOCATED 2" FROM THE TOP AND BOTTOM OF THE MEMBER. WASHERS SHOULD BE USED UNDER HEAD AND NUT



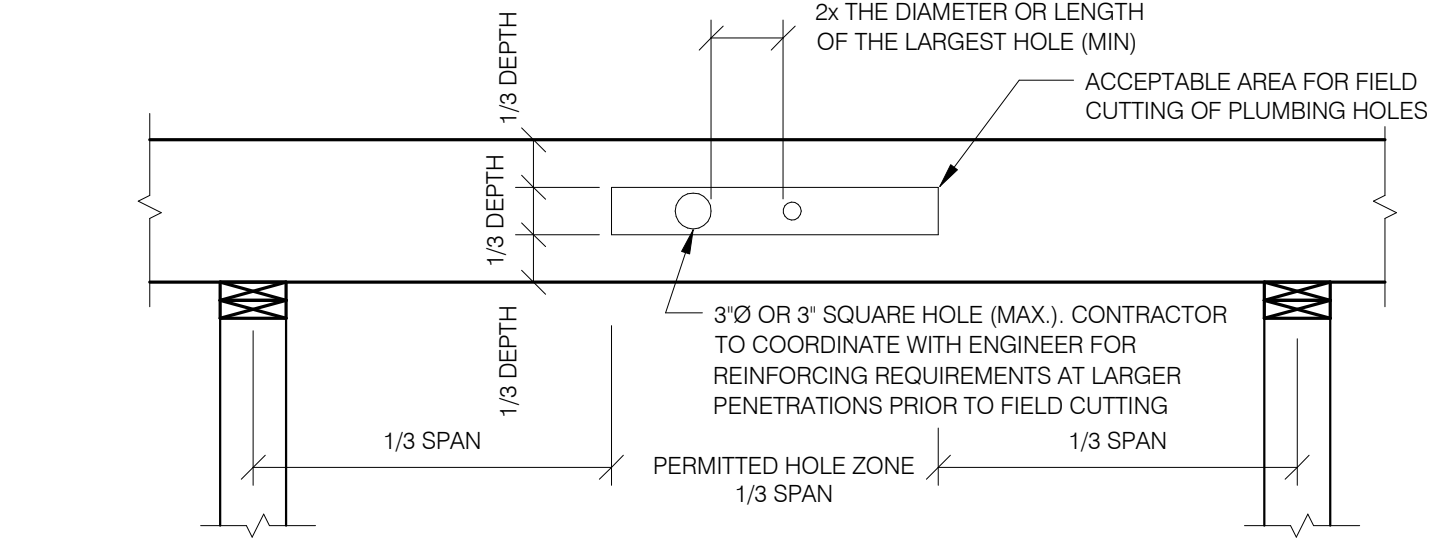
1 TYPICAL FRAMING SECTION @ CANTILEVER
 3/4" = 1'-0"



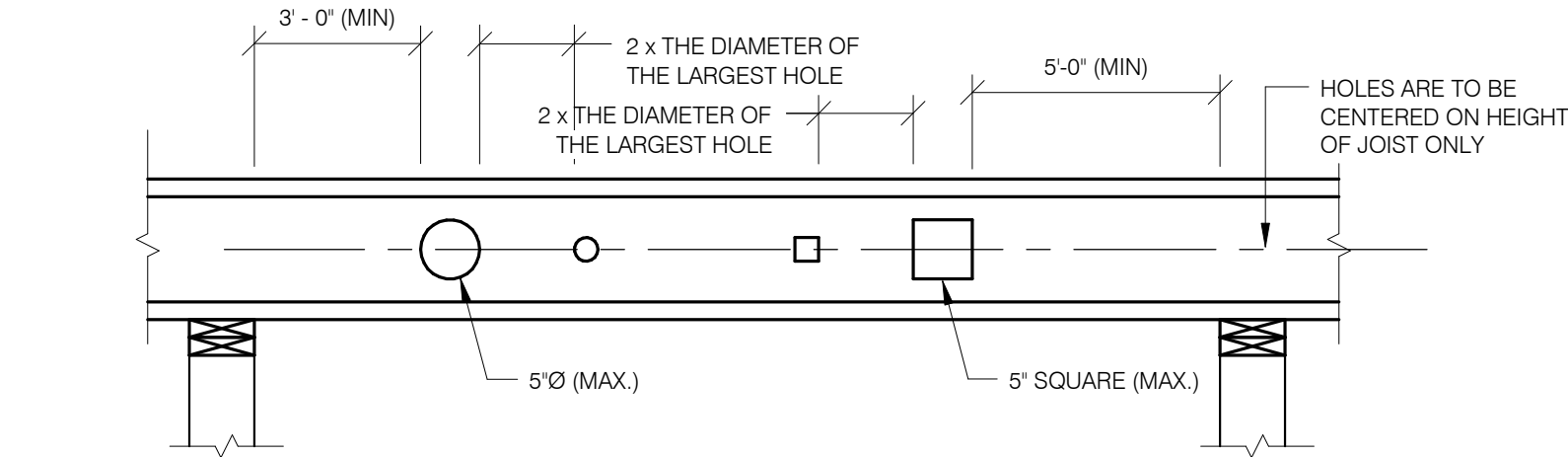
2 TIE-DOWN SECTION
 1/2" = 1'-0"



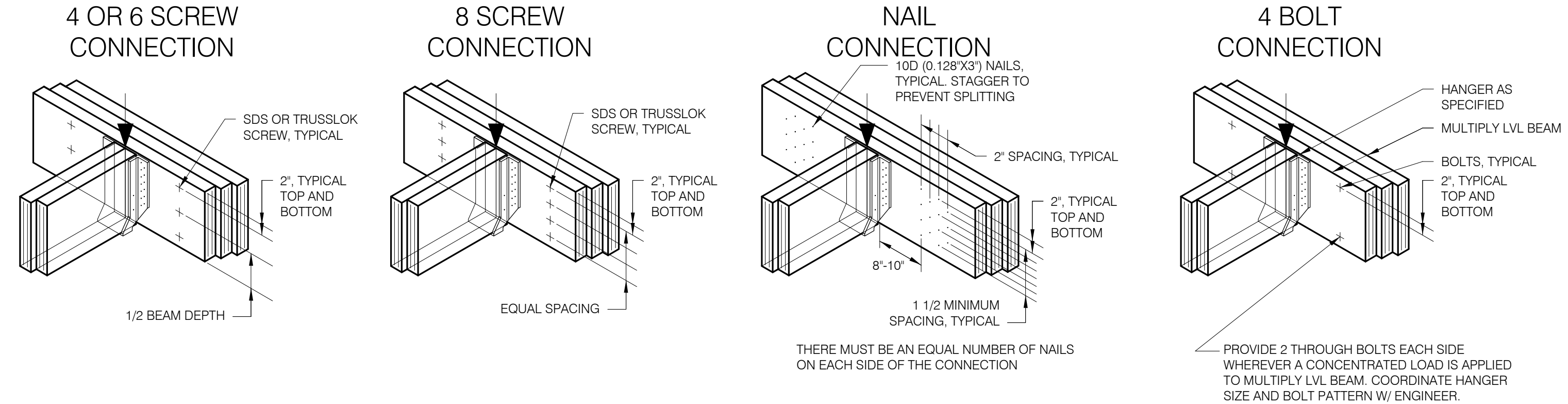
5 TIE-DOWN DETAIL
 1 1/2" = 1'-0"



3 ALLOWABLE HOLES FOR LVL DETAILS
 3/4" = 1'-0"



4 ALLOWABLE HOLES FOR TJI DETAILS
 3/4" = 1'-0"



8 TYPICAL POINT LOAD CONNECTION
 3/4" = 1'-0"

FRAMING CONNECTORS SCHEDULE <small>(MANUFACTURED BY SIMPSON STRONG-TIE)</small>									
DEPTH	TJI	SINGLE JOIST - TOP FLANGE			SINGLE JOIST - FACE MOUNT				
		HANGER	CAPACITY (LBS)	NAILING	HANGER	CAPACITY (LBS)	NAILING		
9 1/2"	110	ITS1.81/9.5	1,365	10d	N.A.	IUS1.81/9.5	935	10d	N.A.
	210	ITS2.06/9.5	1,365	10d	N.A.	IUS2.06/9.5	935	10d	N.A.
	230	ITS2.37/9.5	1,365	10d	N.A.	IUS2.37/9.5	935	10d	N.A.
11 7/8"	110	ITS1.81/11.88	1,365	10d	N.A.	IUS1.81/11.88	1,170	10d	N.A.
	230	ITS2.37/11.88	1,365	10d	N.A.	IUS2.37/11.88	1,170	10d	N.A.
	360	ITS2.37/11.88	1,365	10d	N.A.	IUS2.37/11.88	1,170	10d	N.A.
560	ITT411.88	1,300	10d	10d x 1 1/2"	IUS3.56/11.88	1,405	10d	N.A.	
DEPTH	TJI	DOUBLE JOIST - TOP FLANGE			DOUBLE JOIST - FACE MOUNT				
		HANGER	CAPACITY (LBS)	NAILING	HANGER	CAPACITY (LBS)	NAILING		
9 1/2"	110	MIT49.5	2,115	16d	10d x 1 1/2"	MIU3.56/9	2,270	16d	10d x 1 1/2"
	210	MIT4.28/9.5	2,115	16d	10d x 1 1/2"	MIU4.28/9	2,270	16d	10d x 1 1/2"
	230	MIT359.5-2	2,115	16d	10d x 1 1/2"	MIU4.75/9	2,270	16d	10d x 1 1/2"
11 7/8"	110	MIT411.88	2,115	16d	10d x 1 1/2"	MIU3.56/11	2,840	16d	10d x 1 1/2"
	230	MIT3511.88-2	2,115	16d	10d x 1 1/2"	MIU4.75/11	2,840	16d	10d x 1 1/2"
	360	MIT3511.88-2	2,115	16d	10d x 1 1/2"	MIU4.75/11	2,840	16d	10d x 1 1/2"
560	BT.12/11.88*	3,355	16d	16d	HU412-2*	2,145	16d	16d	
TJI	HANGER	VARIABLE SLOPE SEAT JOIST HANGER		NOTES:					
		SLOPE ONLY	NAILING	1. * INDICATED HANGER REQUIRE WEB STIFFENERS.	2. LEAVE 1/16" CLEARANCE (1/8" MAXIMUM) BETWEEN THE END OF THE SUPPORTED JOIST AND THE HEADER OR HANGER.				
110	LSSU25*	1,110	10d	10d x 1 1/2"					
230	LSSU35*	1,110	10d	10d x 1 1/2"					
360	LSSU35*	1,110	10d	10d x 1 1/2"					
560	LSSU410*	2,430	16d	10d x 1 1/2"					

6 HANGER SCHEDULE
 12" = 1'-0"

FRAMING CONNECTOR SCHEDULE <small>FOR SAWN LUMBER (MANUFACTURED BY SIMPSON STRONG-TIE)</small>									
JOIST SIZE	HANGER	SINGLE JOIST - TOP FLANGE			SINGLE JOIST - FACE MOUNT				
		CAPACITY (LBS)	NAILING	HANGER	CAPACITY (LBS)	NAILING			
2x6	LB26	1,380	4-16d	2-10d x 1 1/2"	U26	800	6-16d	4-10d x 1 1/2"	
	2x8	LB28	1,270	4-16d	2-10d x 1 1/2"	LU28	1,065	8-16d	6-10d x 1 1/2"
	2x10	LB210	1,550	4-16d	2-10d x 1 1/2"	LU210	1,330	10-16d	6-10d x 1 1/2"
	2x12	LB212	1,580	4-16d	2-10d x 1 1/2"	LU210	1,330	10-16d	6-10d x 1 1/2"
GIRDER SIZE	HANGER	DOUBLE JOIST - TOP FLANGE			DOUBLE JOIST - FACE MOUNT				
		CAPACITY (LBS)	NAILING	HANGER	CAPACITY (LBS)	NAILING			
2 - 2x6	WNP26-2	3,255	2-10d	2-10d	U26-2	1,065	8-16d	4-10d	
2 - 2x8	WNP28-2	3,255	2-10d	2-10d	LUS28-2	1,265	8-16d	4-16d	
2 - 2x10	WNP210-2	3,255	2-10d	2-10d	LUS210-2	1,765	8-16d	6-16d	
2 - 2x12	WNP212-2	3,255	2-10d	2-10d	LUS210-2	1,765	8-16d	6-16d	
JOIST SIZE	HANGER	VARIABLE SLOPE SEAT JOIST HANGER		NOTES:					
		CAPACITY (LBS)	NAILING	1. LEAVE 1/16" CLEARANCE (1/8" MAXIMUM) BETWEEN THE END OF THE SUPPORTED JOIST AND THE HEADER OR HANGER.	2. REFER TO MANUFACTURER FOR ADDITIONAL INFORMATION.				
2x6	LSU26	765	6-10d	5-10d x 1 1/2"					
2x8	LSSU28	1,275	10-10d	5-10d x 1 1/2"					
2x10	LSSU210	1,275	10-10d	7-10d x 1 1/2"					
2x12	LSSU210	1,275	10-10d	7-10d x 1 1/2"					

60 MILLS CROSS ROAD


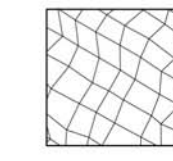



SECTIONS AND DETAILS

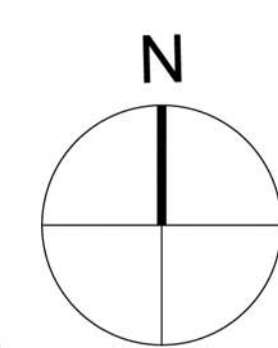
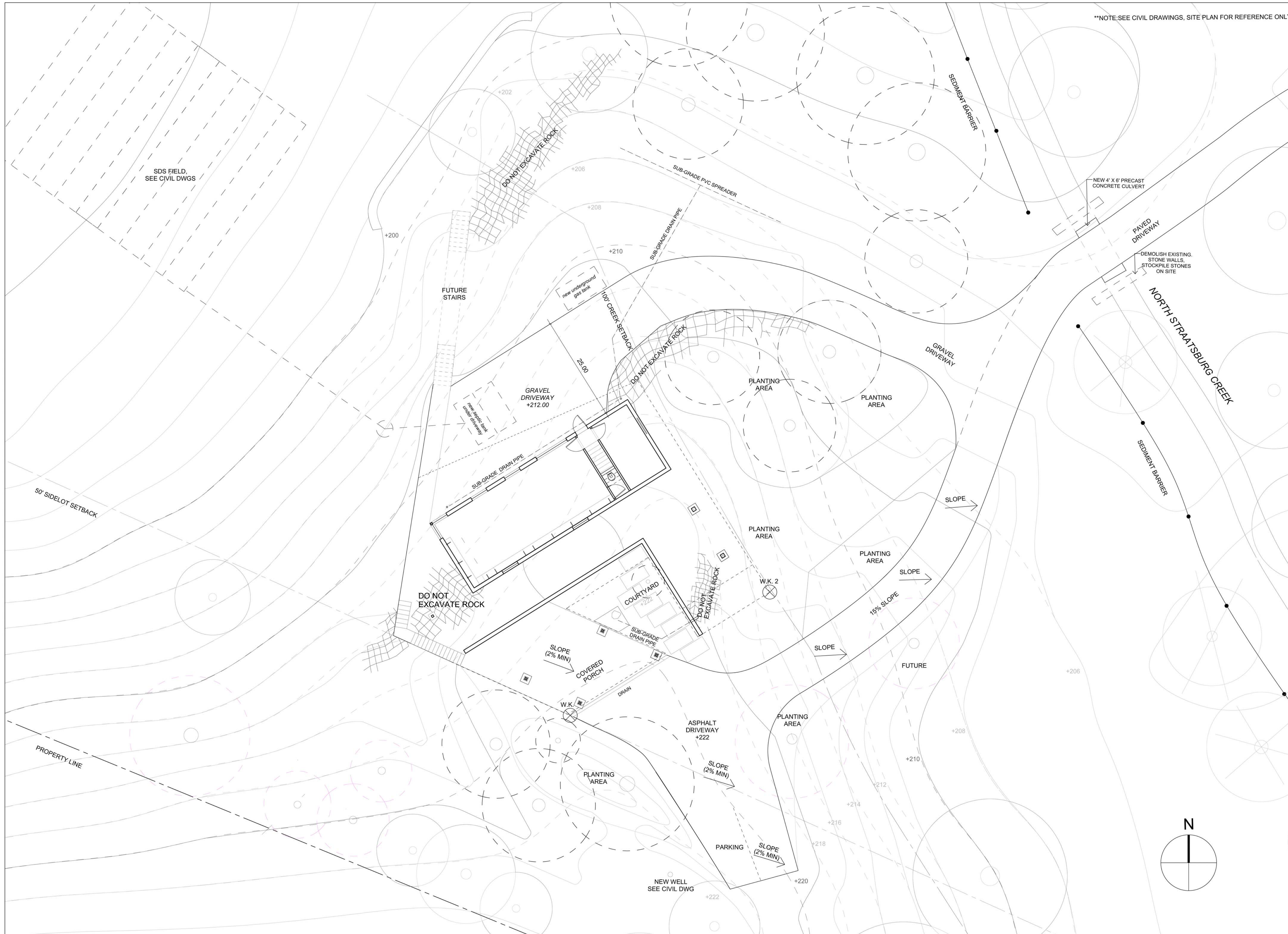
S-202.00

DATE: 2018-02-14
 PROJECT No: P7144.01
 CHK BY: S.A.
 DRAWN BY: J.P.
 SCALE: AS NOTED

BSCAN STICKERS (DOB)

**NOTE: SEE CIVIL DRAWINGS, SITE PLAN FOR REFERENCE ONLY

-  SEDIMENT BARRIER
-  ROCK OUTCROPPING TO REMAIN, DO NOT EXCAVATE
-  EXISTING TREES, DO NOT DISTURB
-  NEW TREES
-  FUTURE TREES



HUDSON HOUSE

ARCHITECTURAL SITE PLAN

ISSUE 100% CONSTRUCTION DOCUMENTS

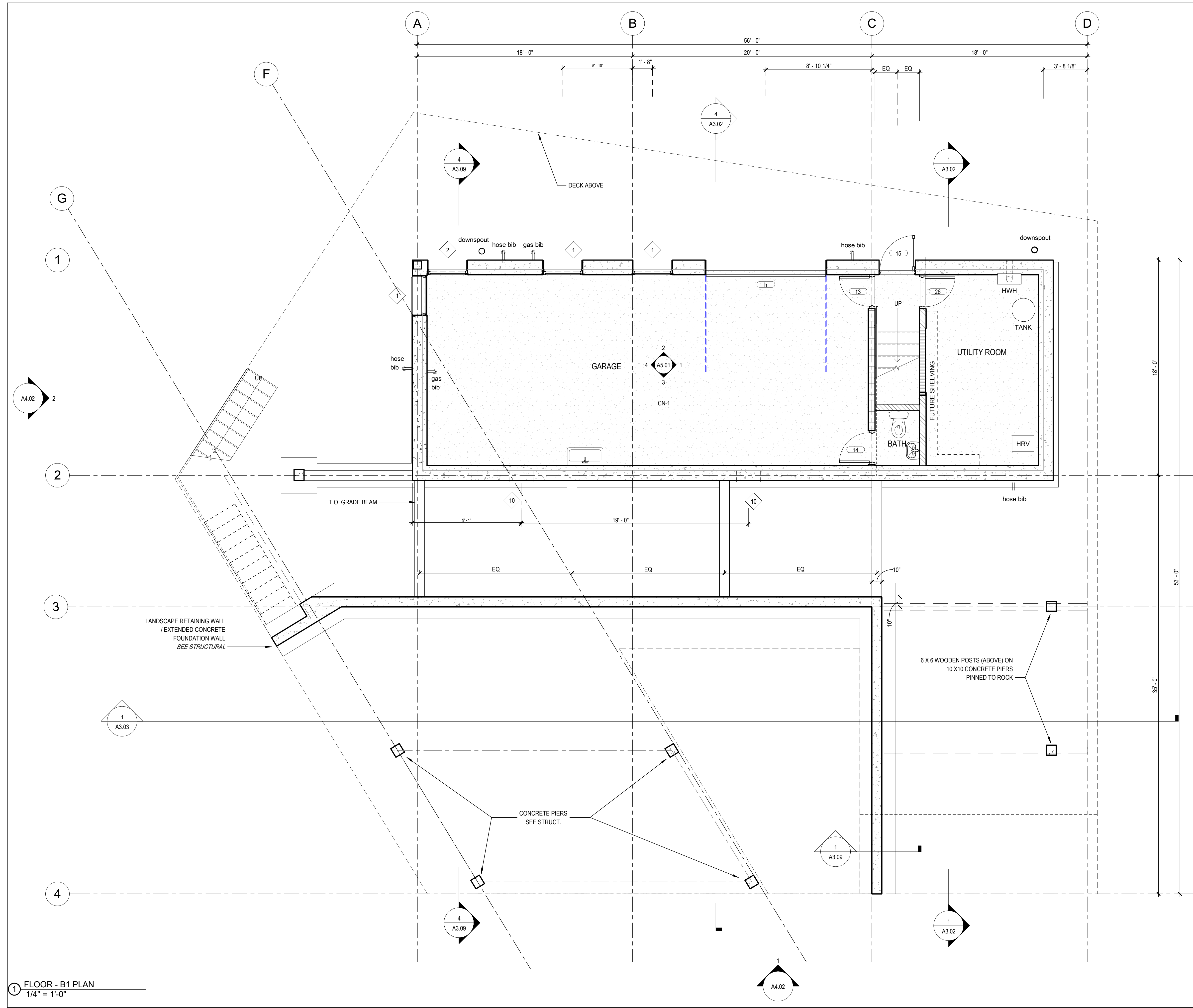
Date 03.02.2018

Scale

SA+UD

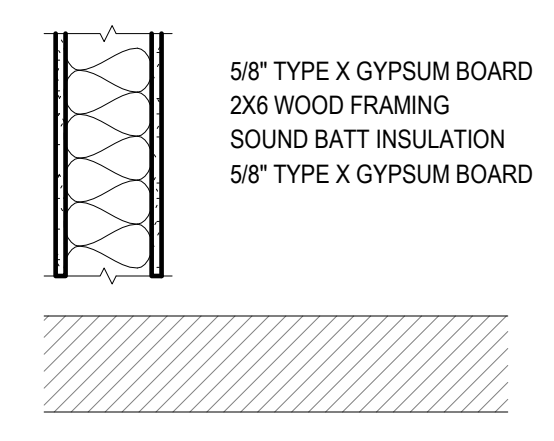
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 t. 1 917 579 0152
 e. speranza@speranzaarchitecture.com

A1.02

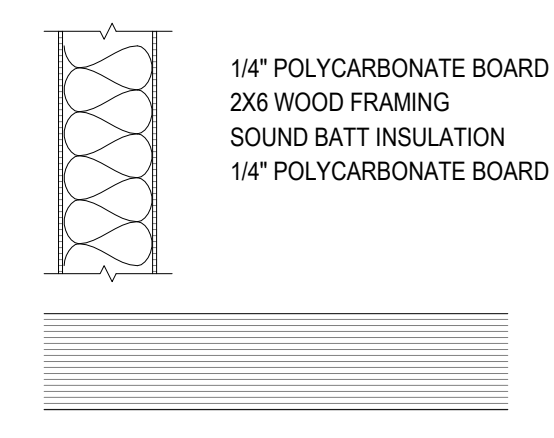


PARTITION TYPES

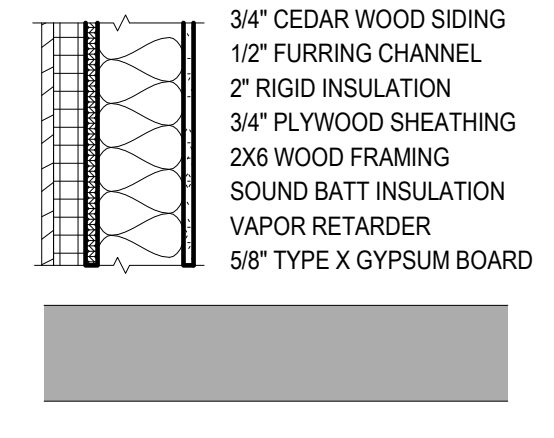
INTERIOR PARTITION, TYP.



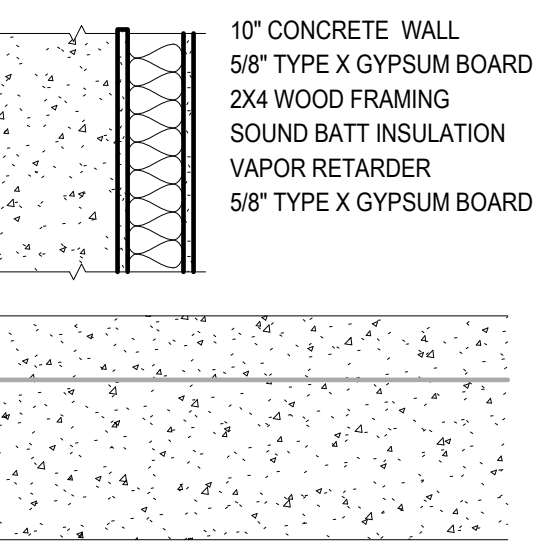
POLYCARBONATE PARTITION



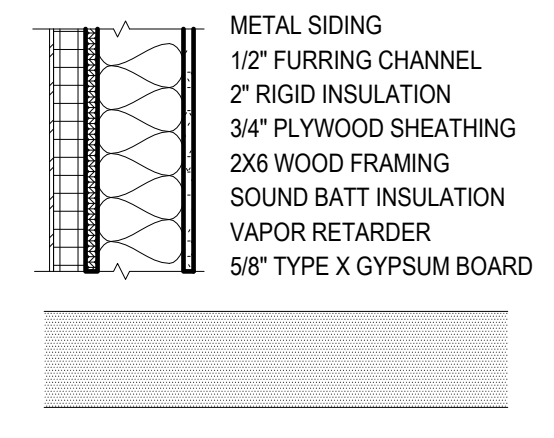
FIRST FLOOR ENCLOSURE, TYP.



BASEMENT ENCLOSURE, TYP.



ROOF ACCESS ENCLOSURE, TYP.



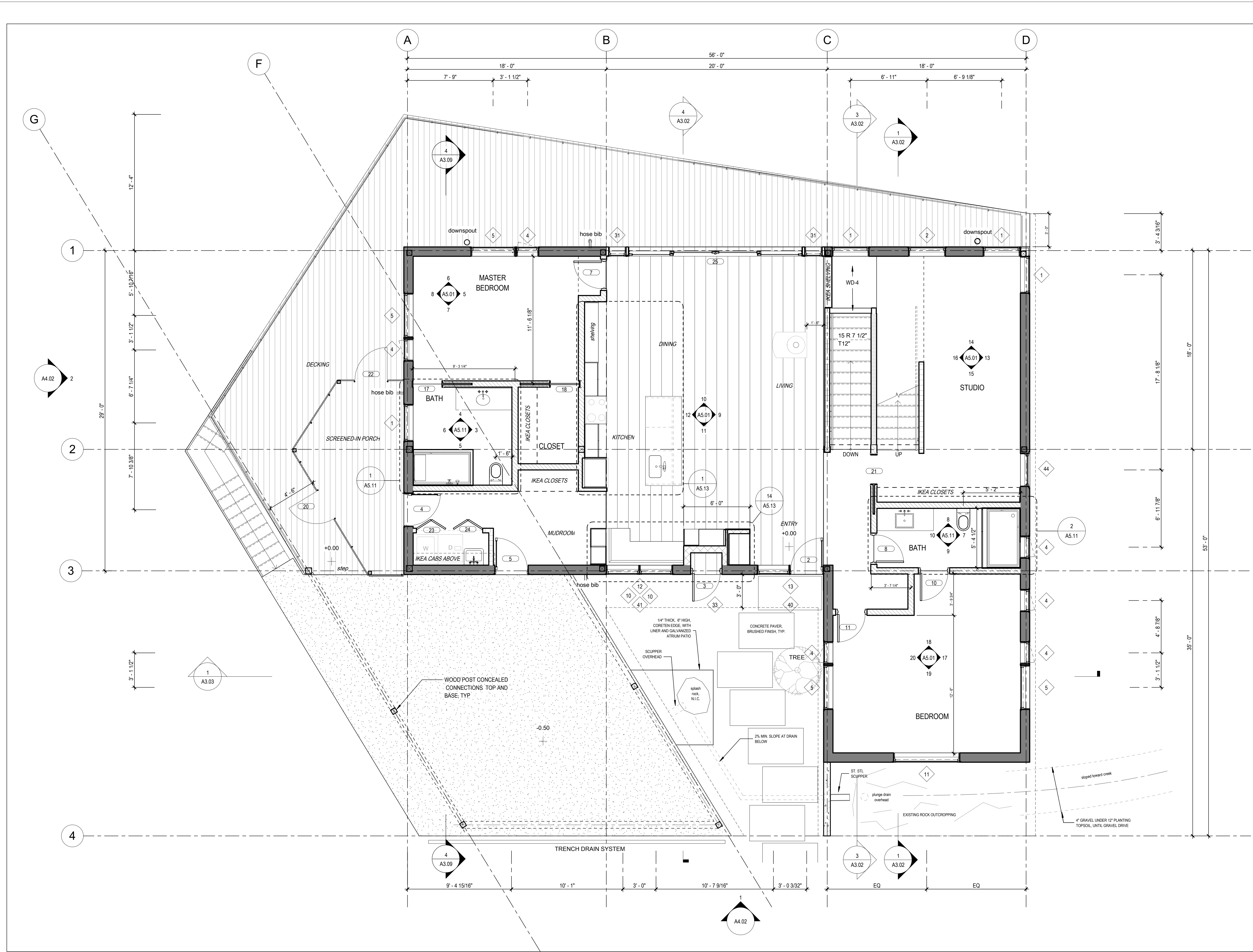
HUDSON HOUSE

BASEMENT PLAN	ISSUE 100% CONSTRUCTION DOCUMENTS
	Date 03.02.2018
	Scale As indicated

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A1.03

1 FLOOR - B1 PLAN
 1/4" = 1'-0"



HUDSON HOUSE

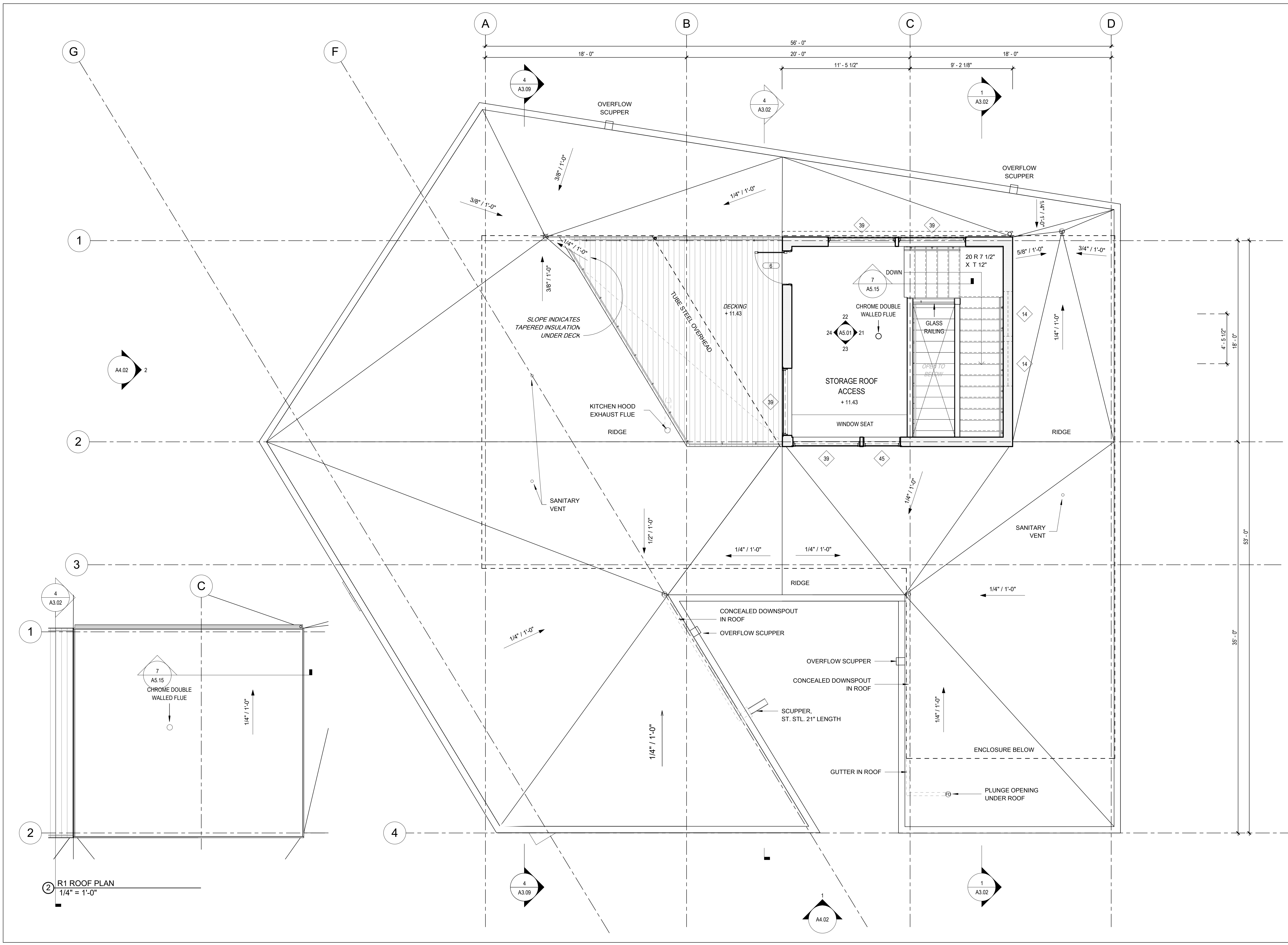
FIRST FLOOR PLAN

ISSUE 100% CONSTRUCTION DOCUMENTS
 Date 03.02.2018
 Scale 1/4" = 1'-0"

SA+UD

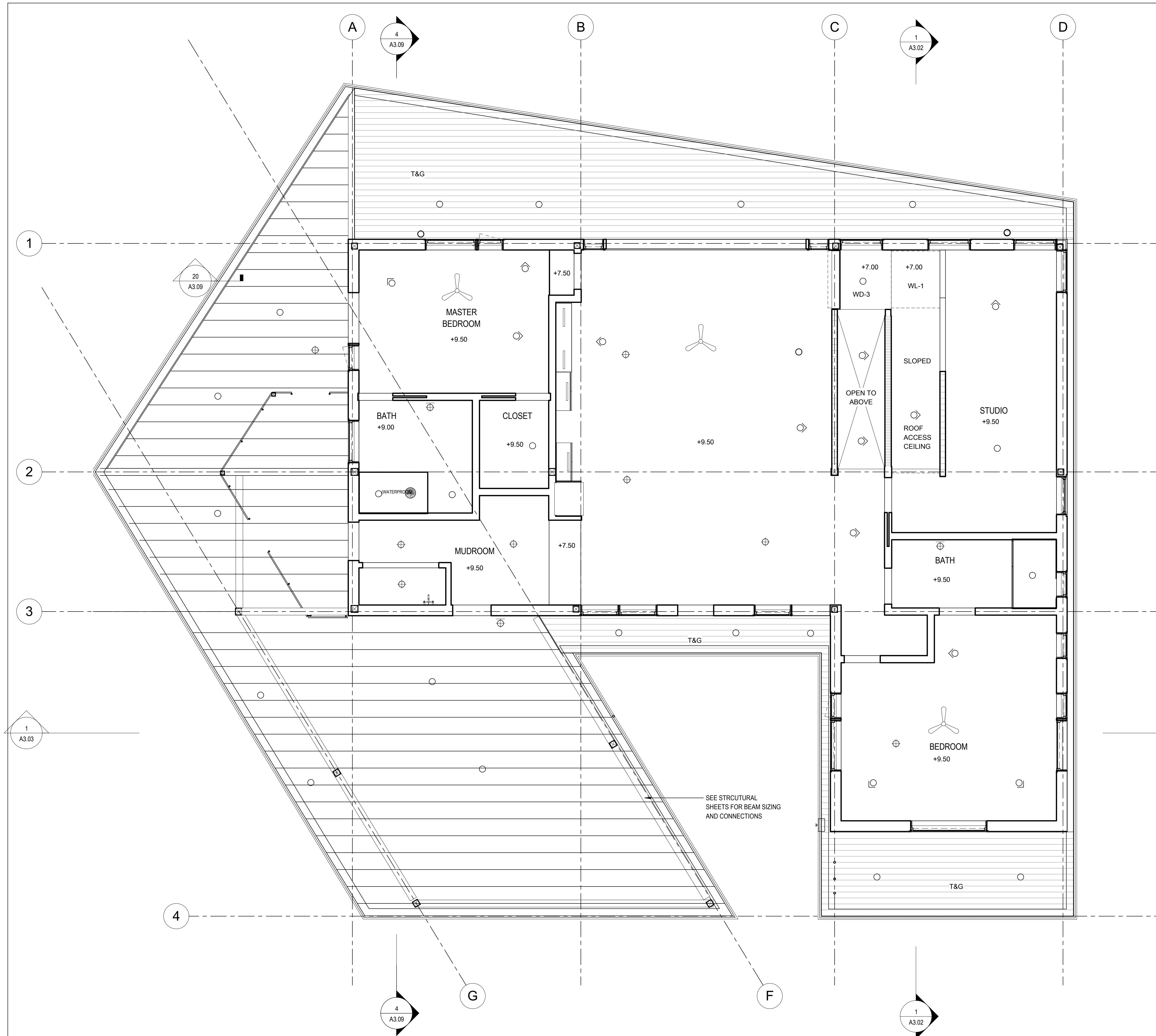
Philip Speranza, Architect
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 e. speranza@speranzaarchitecture.com

A1.04



② R1 ROOF PLAN
1/4" = 1'-0"

HUDSON HOUSE	
ROOF PLAN	ISSUE 100% CONSTRUCTION DOCUMENTS
	Date 03.02.2018
	Scale 1/4" = 1'-0"
SA+UD	A1.05
<small>Philip Speranza, Architect t: 1 917 579 0152 e: speranza@speranzaarchitecture.com</small>	



TYPICAL CEILING NOTES

1. DIMENSIONS ARE TO FACE OF FINISH OR TO CENTERLINE OR EDGE OF FIXTURE.
2. ALL CEILING HEIGHT DIMENSIONS ARE TO BOTTOM OF SUSPENSION GRID OR FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.
3. METAL SUSPENSION SYSTEMS OR CEILING PANELS TO BE CENTERED IN ALL ROOMS IN BOTH DIRECTIONS UNLESS NOTED OTHERWISE. PARTIAL PANELS SHALL NOT BE LESS THAN 6" IN EITHER DIRECTION.
4. LOCATE SPRINKLER HEADS, SMOKE DETECTORS, SPEAKERS AND OTHER CEILING-MOUNTED MECHANICAL, ELECTRICAL, PLUMBING AND SECURITY DEVICES CENTERED IN ACOUSTICAL CEILING PANELS UNLESS NOTED OTHERWISE. IN GYPSUM BOARD CEILINGS, ALIGN FIXTURES AND DEVICES AND CENTER IN SPACES UNLESS NOTED OTHERWISE.
5. LIGHT FIXTURES TO BE CENTERED AND ORIENTED IN ROOMS AS SHOWN, UNLESS NOTED OTHERWISE. MULTIPLE IDENTICAL LIGHT FIXTURES IN A SPACE SHALL BE ALIGNED TO THE CENTERLINE OF THE GOVERNING DIMENSION. LIGHT FIXTURES IN CEILING PANELS ARE TO BE CENTERED ON THE PANEL OR ALIGNED WITH THE PANEL EDGE UNLESS NOTED OTHERWISE.
6. PROVIDE ACCESS PANELS IN GYPSUM BOARD CEILINGS AS REQUIRED TO ALLOW ACCESS TO ABOVE CEILING EQUIPMENT AND DEVICES.
7. LINEAR FIXTURES ARE TO BE THE LONGEST CONTINUOUS RUN LENGTHS POSSIBLE TO FIT LOCATIONS AS DRAWN.

CEILING PLAN LEGEND

SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC SYMBOLS

APC-1 2' X 2' ACOUSTICAL PANEL CEILING	GYP-1 GYPSUM BOARD TYPICAL
APC-2 2' X 4' ACOUSTICAL PANEL CEILING	WDC-1 LINEAR WOOD GRILLE SYSTEM
APC-3 4' X 8' ACOUSTICAL PANEL CEILING	SFC-1 STRETCHED FABRIC ACOUSTICAL PANEL CEILING
APC-4 2' X 8' ACOUSTICAL PANEL CEILING	

CEILING MOUNTED FIRE ALARM SPEAKER/ STROBE	ACCESS PANEL (SEE SPECIFICATION) COLOR & FINISH TO MATCH ADJACENT
SPEAKER	24" X 24" SQUARE RETURN REGISTER
EXIT SIGN	24" X 24" SQUARE SUPPLY DIFFUSER

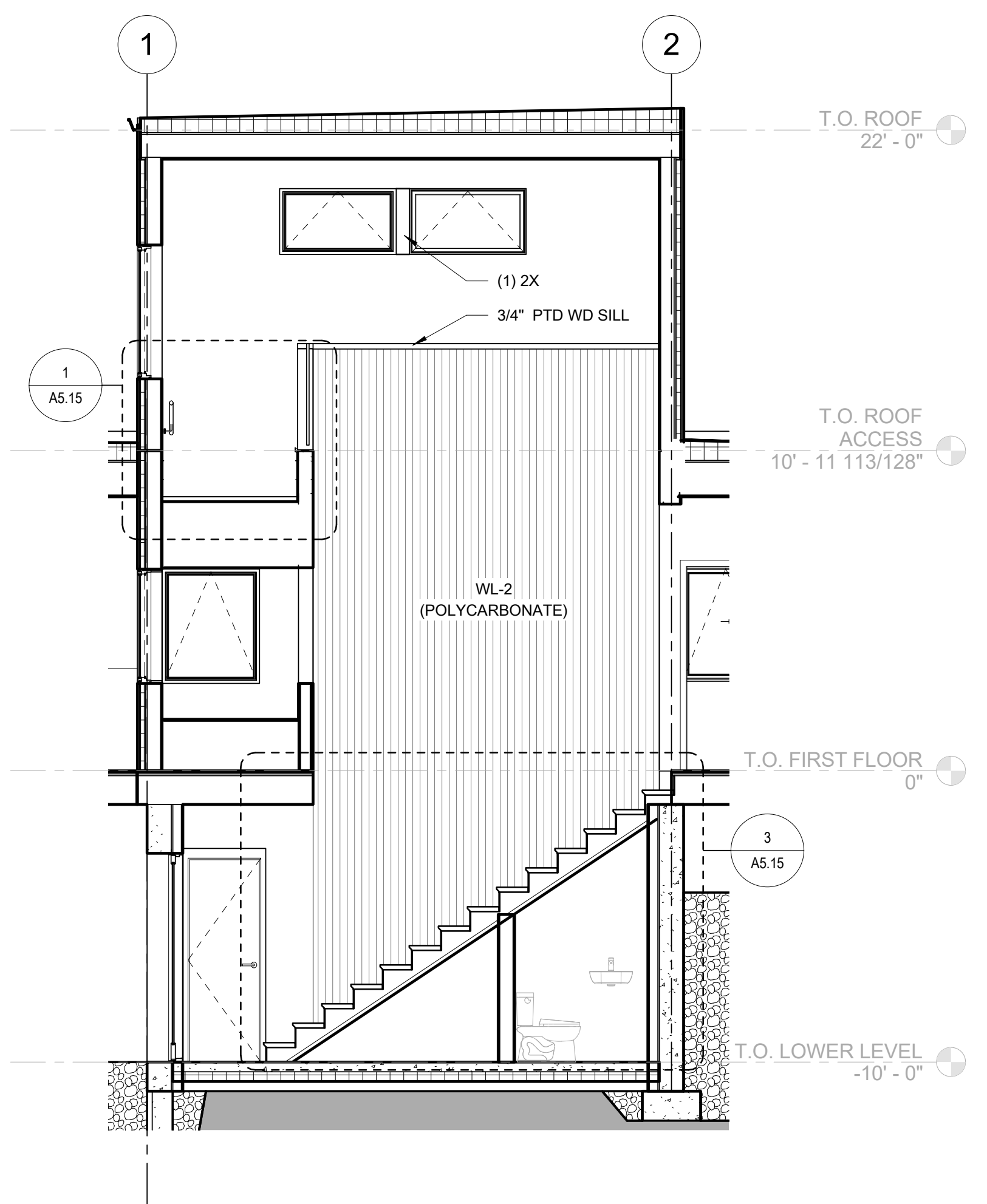
RECESSED DOWNLIGHT	WALL MOUNTED INDIRECT LINEAR FLUORESCENT
RECESSED WALL-WASH	PENDANT MOUNT LINEAR FLUORESCENT DIRECT/ INDIRECT FIXTURE
PENDANT LIGHT	PENDANT MOUNT LINEAR FLUORESCENT DIRECT/ INDIRECT FIXTURE
DECORATIVE PENDANT	PENDANT MOUNT LINEAR FLUORESCENT DIRECT/ INDIRECT FIXTURE
RECESSED 1 X 4 FLUORESCENT FIXTURE	RECESSED 2 X 2 FLUORESCENT DIRECT/ INDIRECT FIXTURE
RECESSED 2 X 2 FLUORESCENT DIRECT/ INDIRECT FIXTURE	RECESSED 2 X 4 FLUORESCENT FIXTURE

HUDSON HOUSE

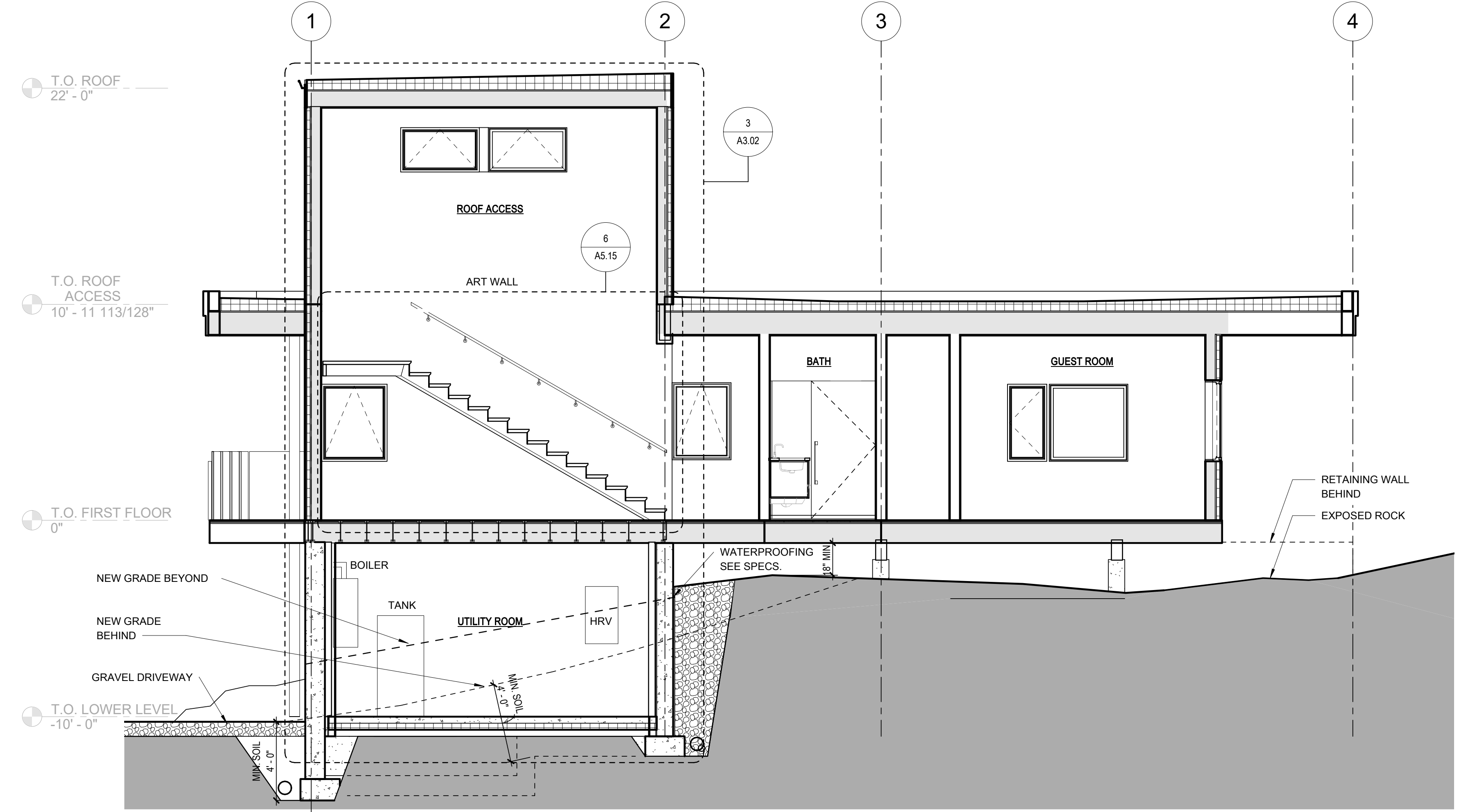
REFLECTED CEILING PLAN	ISSUE 100% CONSTRUCTION DOCUMENTS
	Date 03.02.2018
	Scale As indicated

SA+UD
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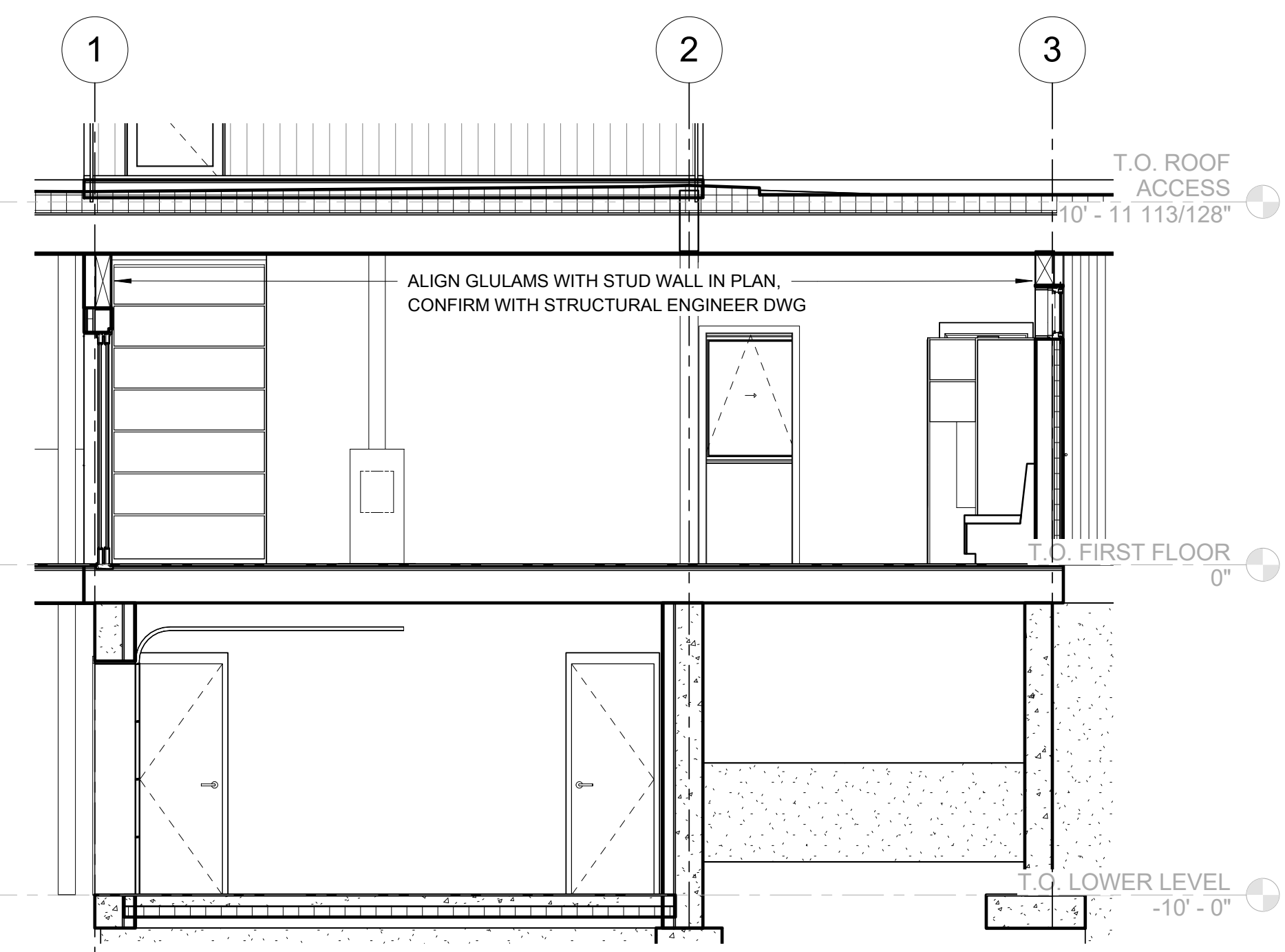
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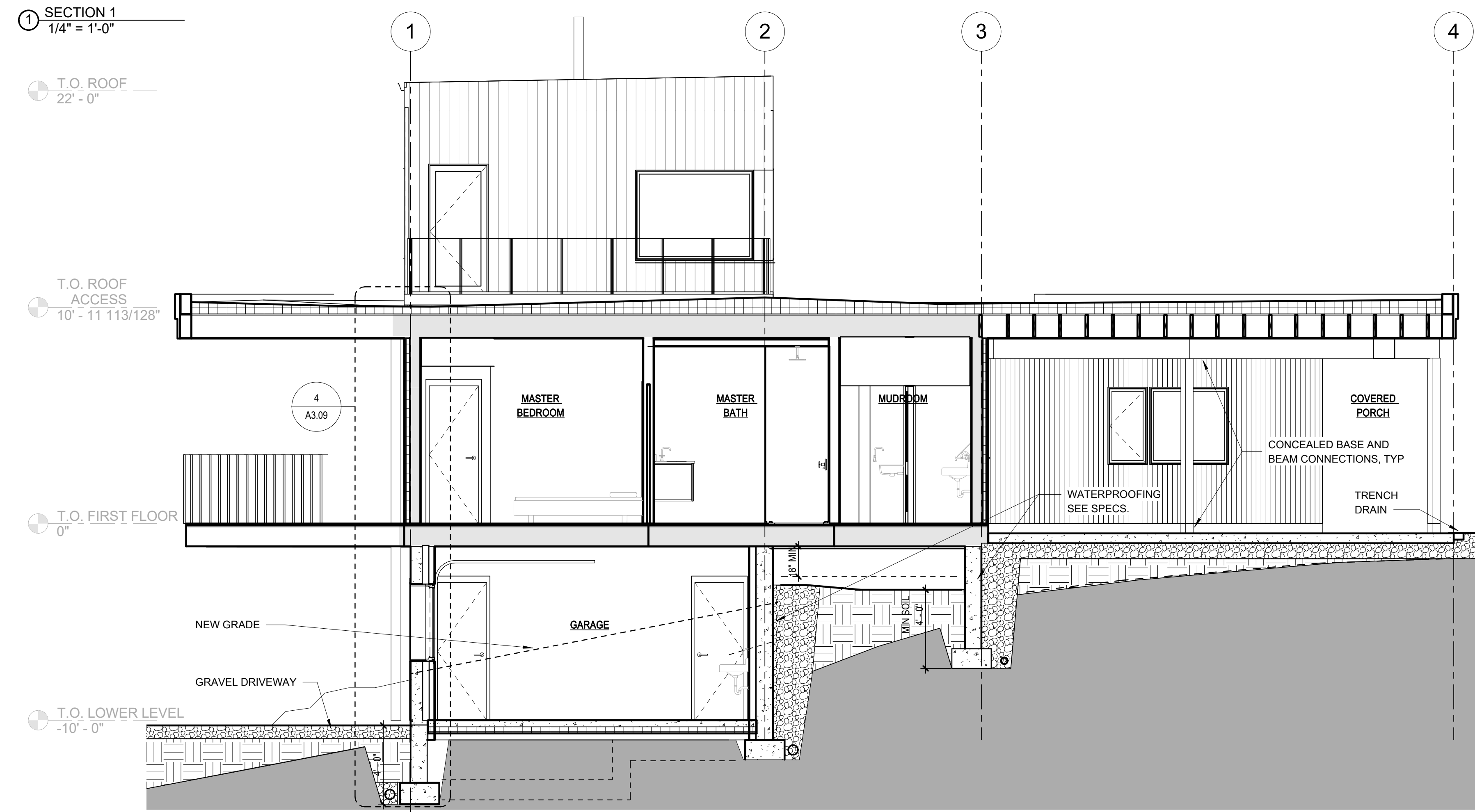
③ Stair Section
1/4" = 1'-0"



① SECTION 1
1/4" = 1'-0"



② SECTION 2
1/4" = 1'-0"



④ Section 6
1/4" = 1'-0"

HUDSON HOUSE

ISSUE 100% CONSTRUCTION DOCUMENTS

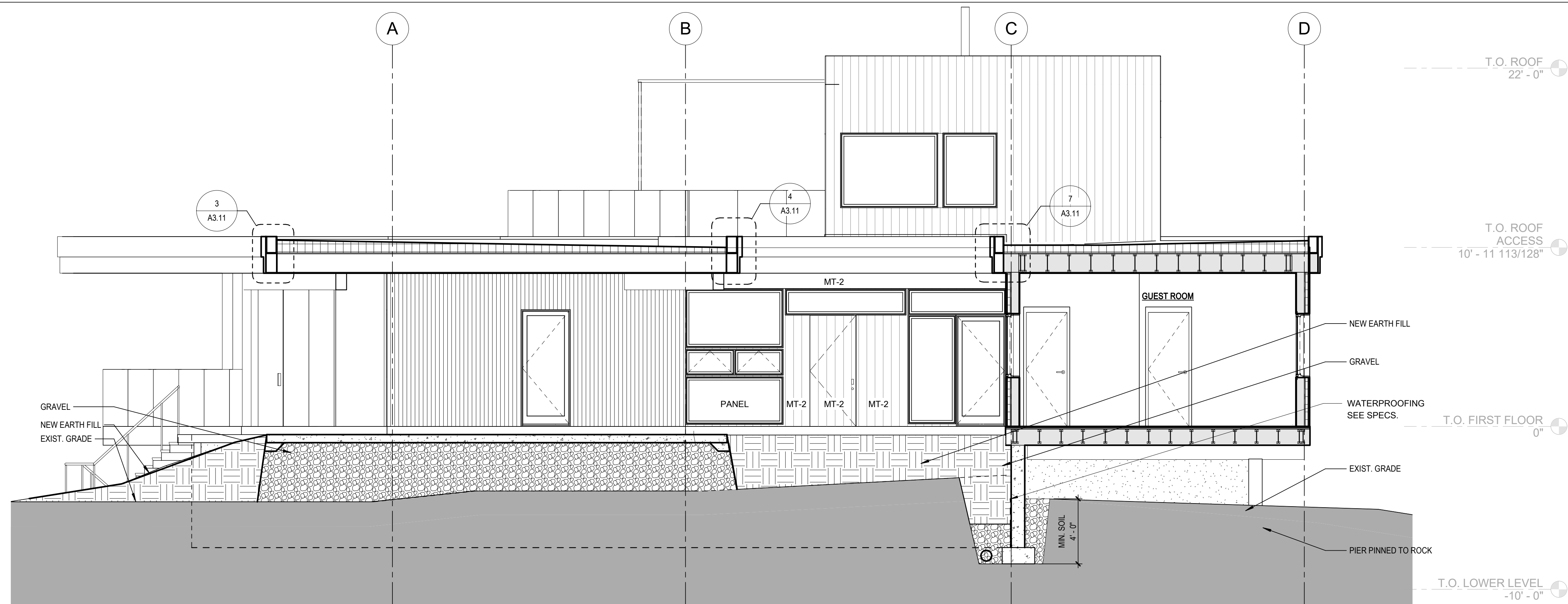
Date 03.02.2018

Scale 1/4" = 1'-0"

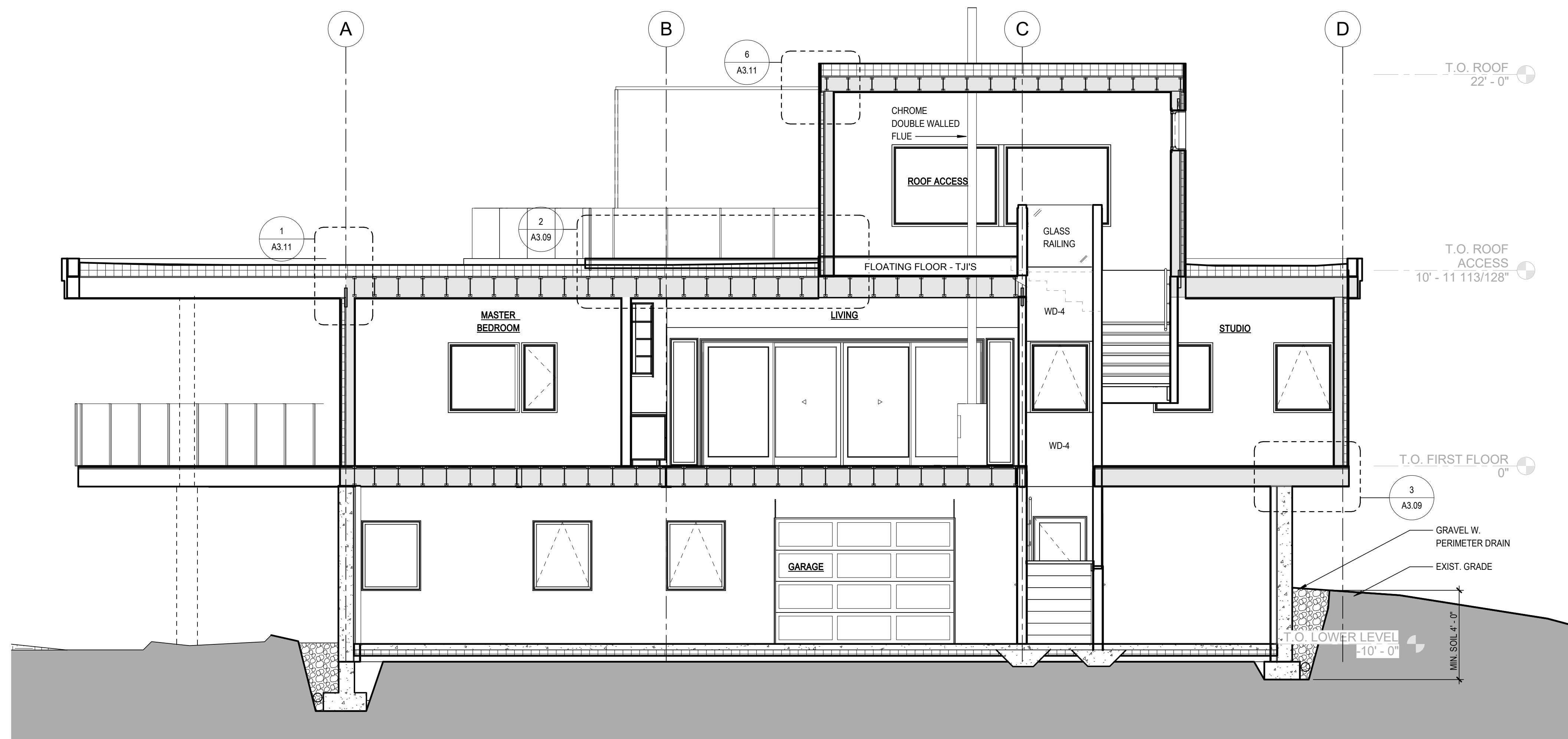
SA+UD

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A3.02



① Section 7
1/4" = 1'-0"



② SECTION 3
1/4" = 1'-0"

Notes:

- Compact all new earth fill as reqd.

HUDSON HOUSE

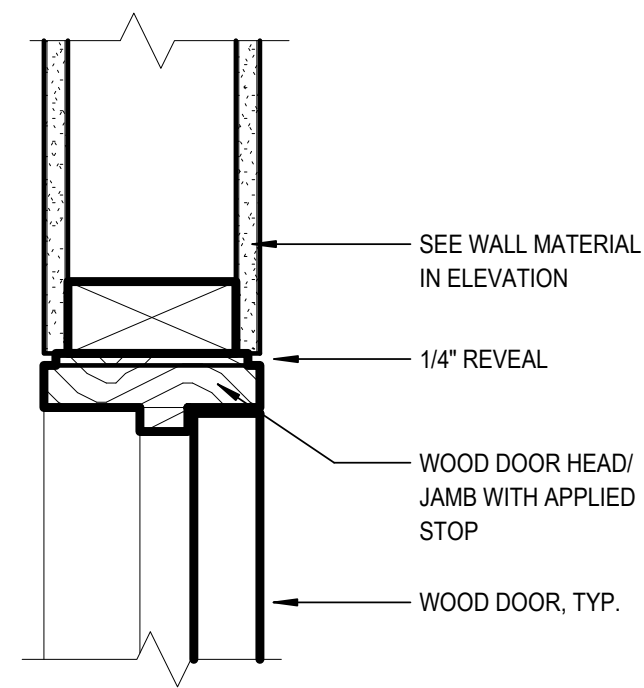
SECTIONS

ISSUE 100% CONSTRUCTION DOCUMENTS
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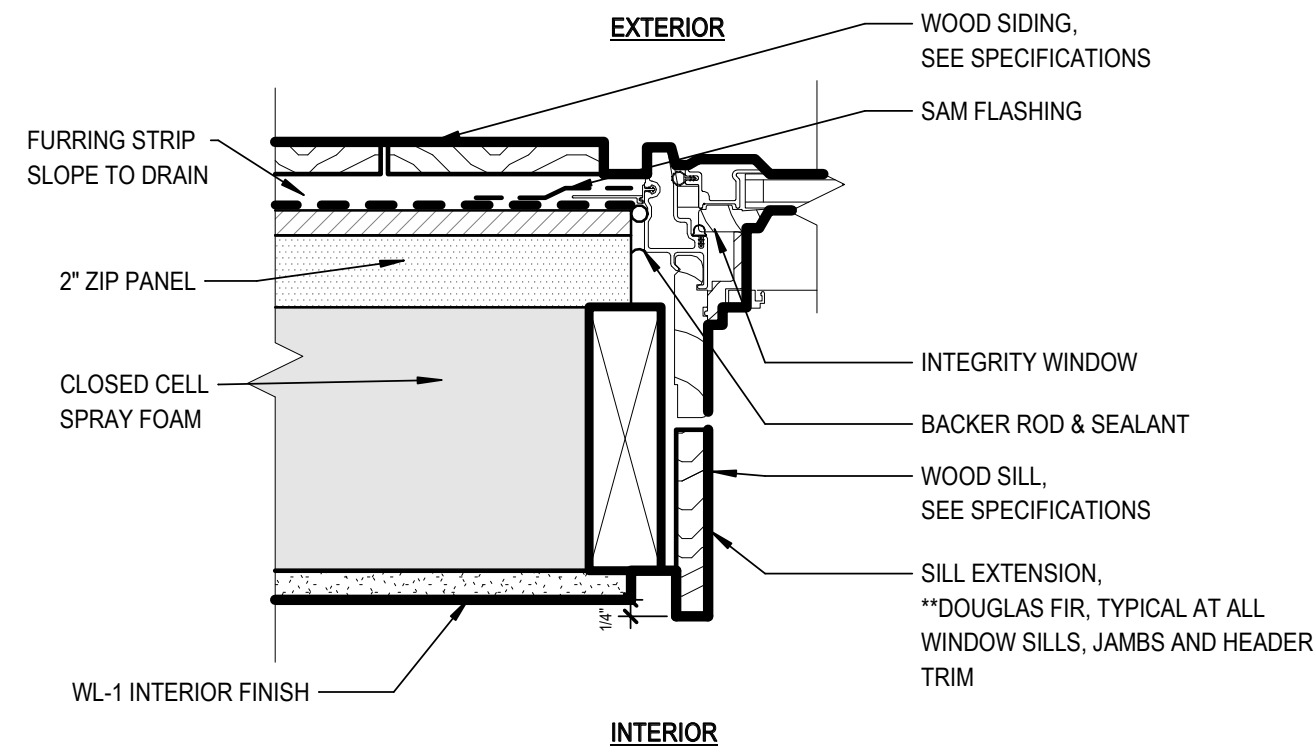
SA+UD

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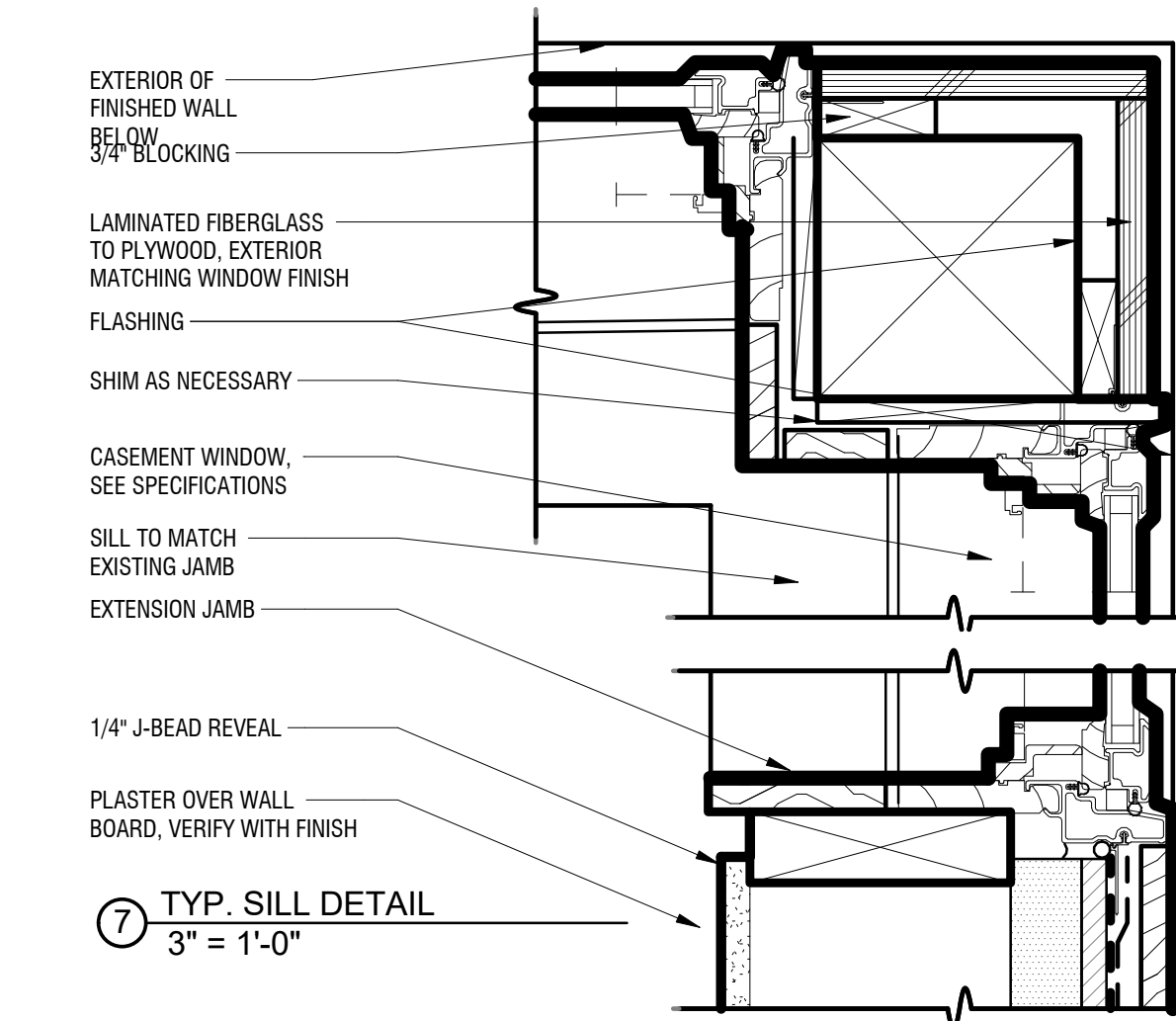
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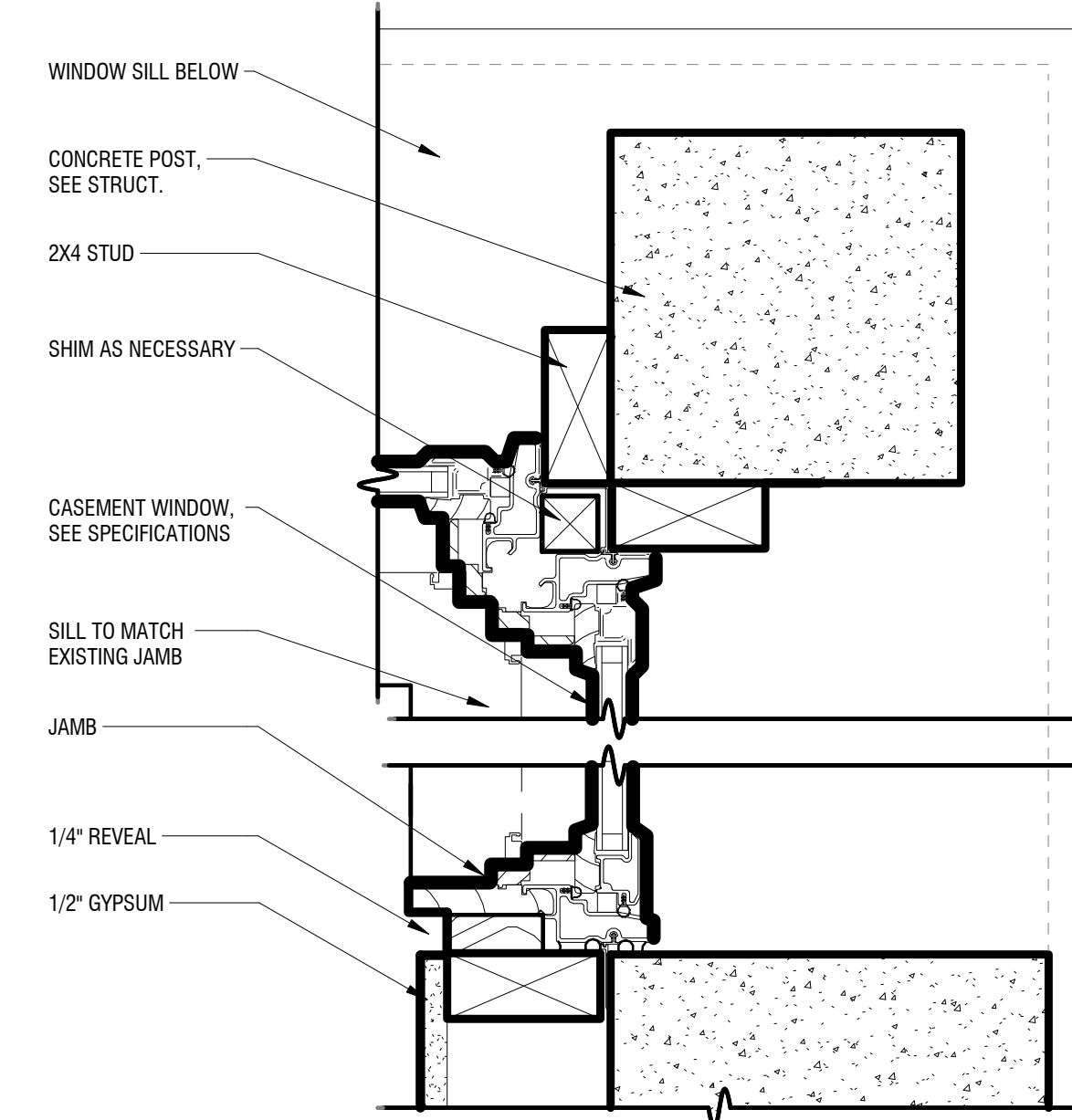
1 INTERIOR SWING HEAD/JAMB, TYP.
3" = 1'-0"



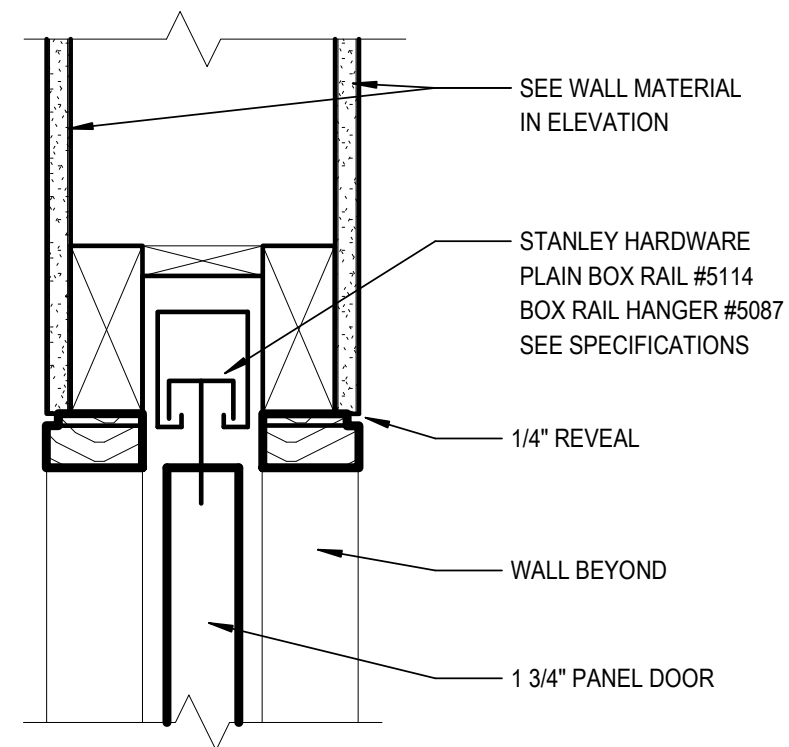
4 TYP. JAMB DETAIL
3" = 1'-0"



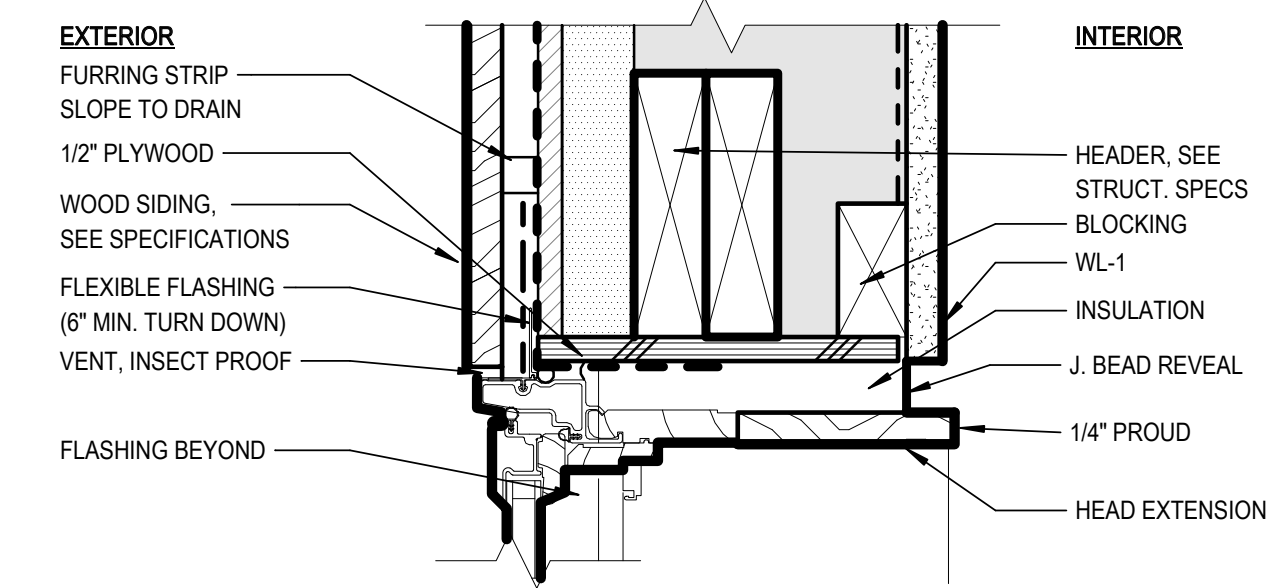
7 TYP. SILL DETAIL
3" = 1'-0"



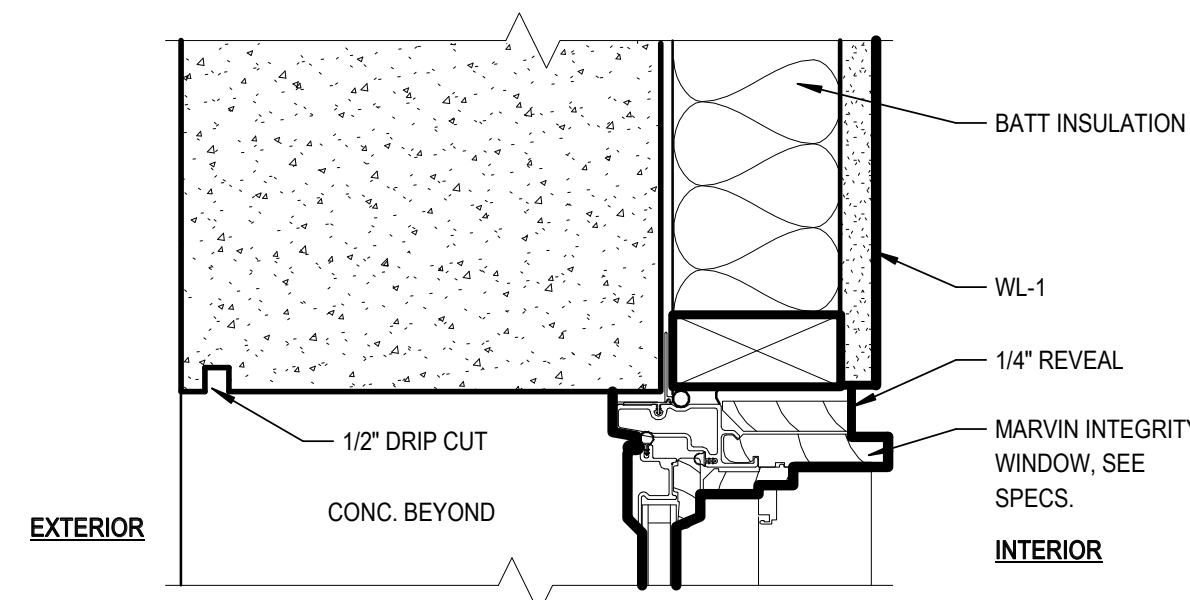
11 CONC. CORNER DETAIL
3" = 1'-0"



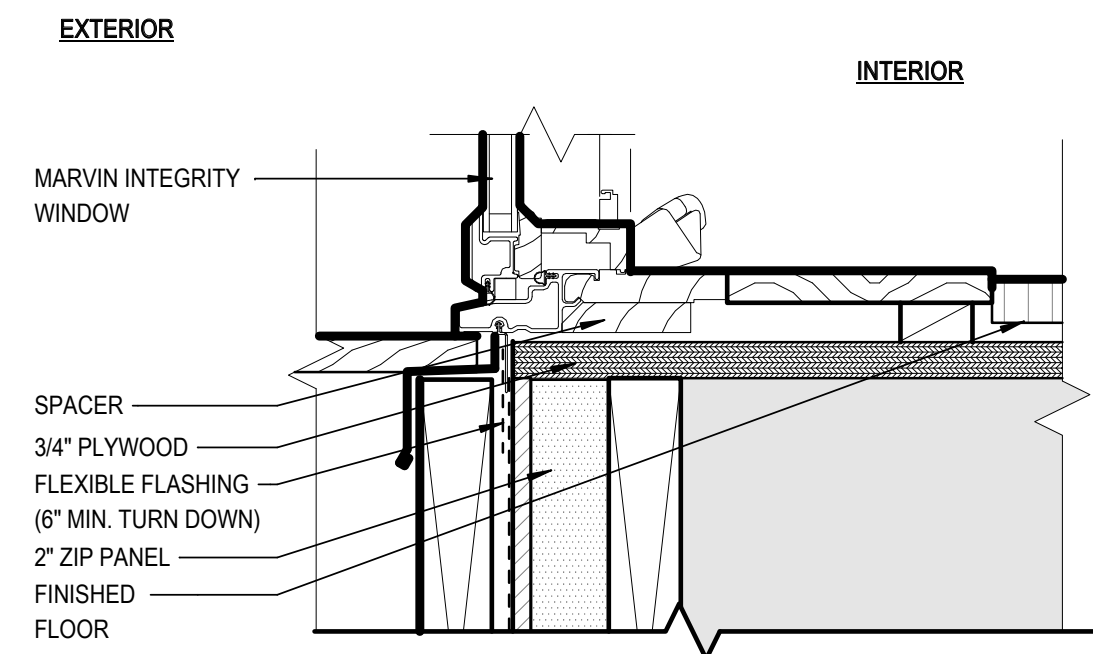
2 POCKET DOOR HEAD/JAMB
3" = 1'-0"



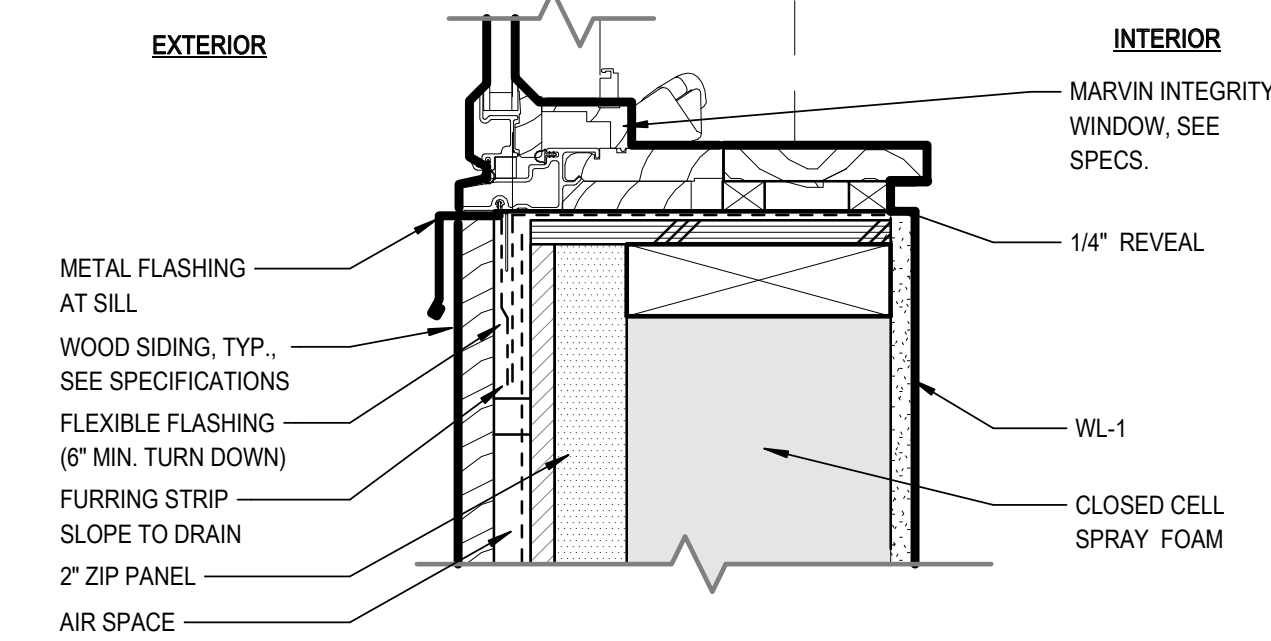
5 TYP. HEADER DETAIL
3" = 1'-0"



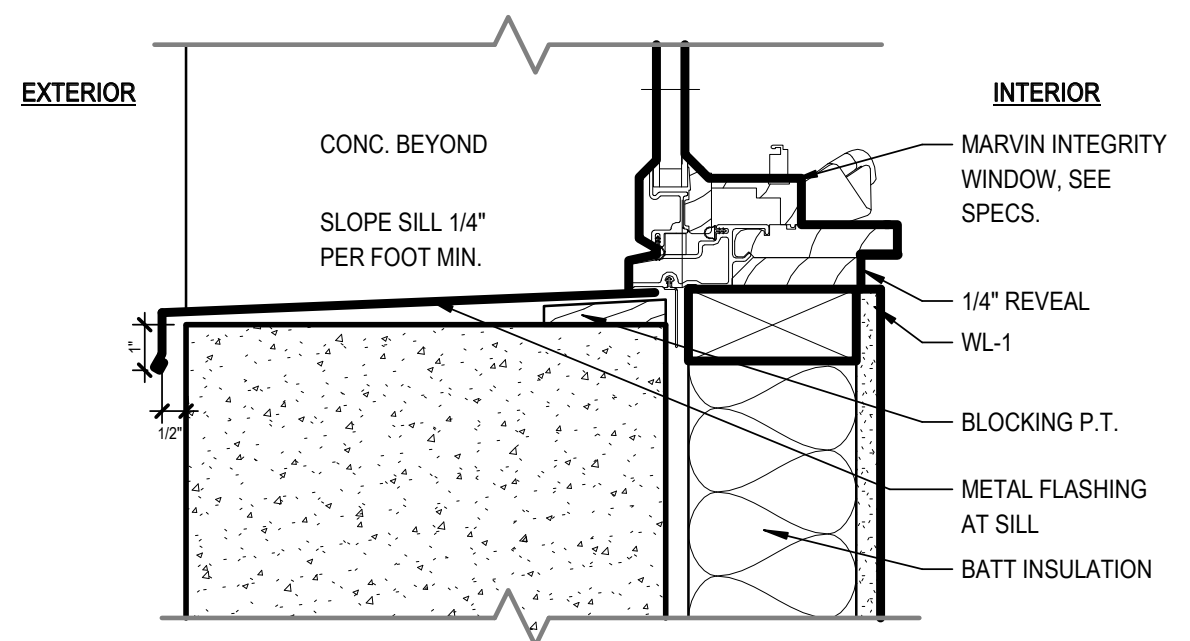
9 TYP. HEADER DETAIL
3" = 1'-0"



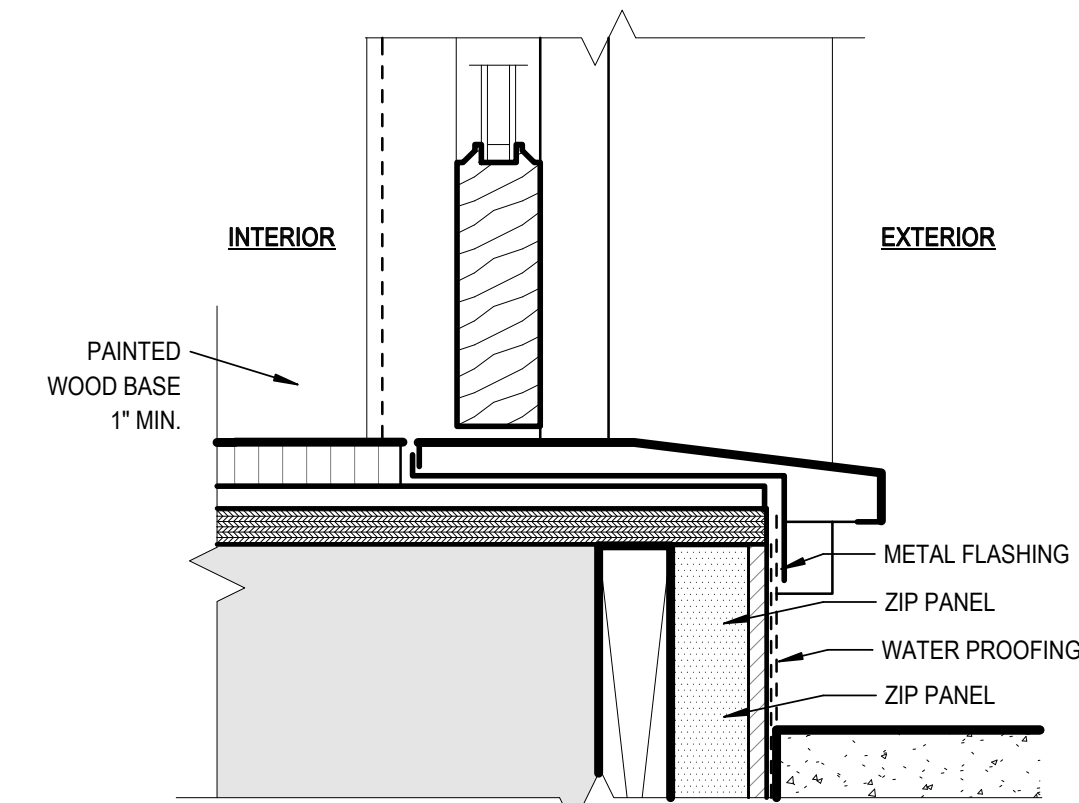
3 FLOOR ASSEMBLIES - RADIANT WOOD FLOOR AND WINDOW SILL
3" = 1'-0"



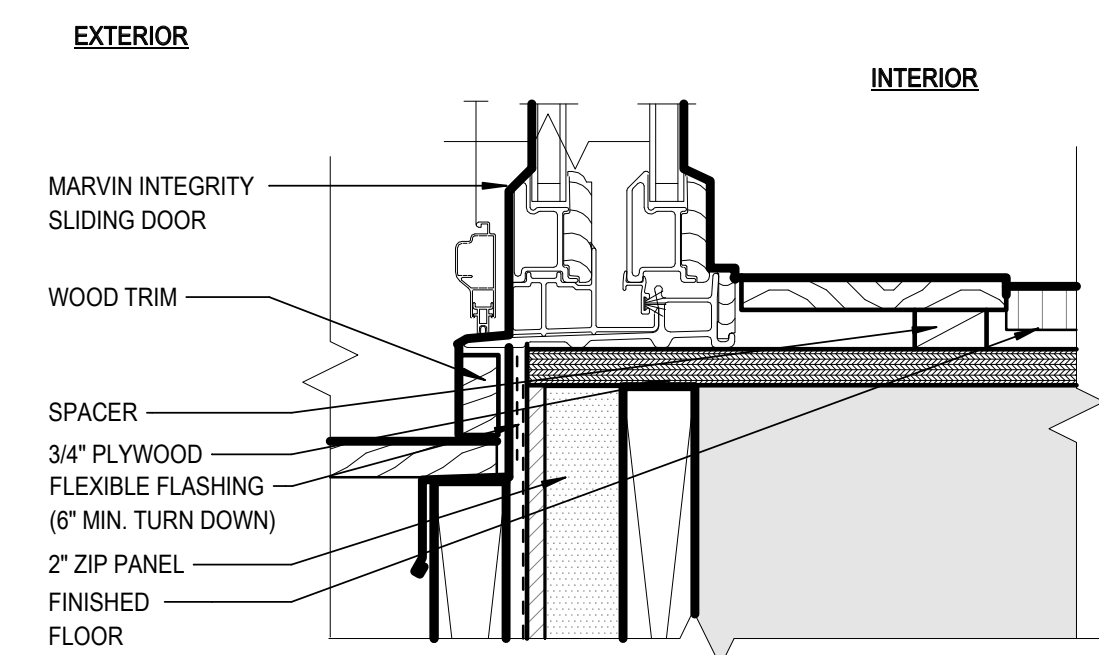
6 TYP. SILL DETAIL
3" = 1'-0"



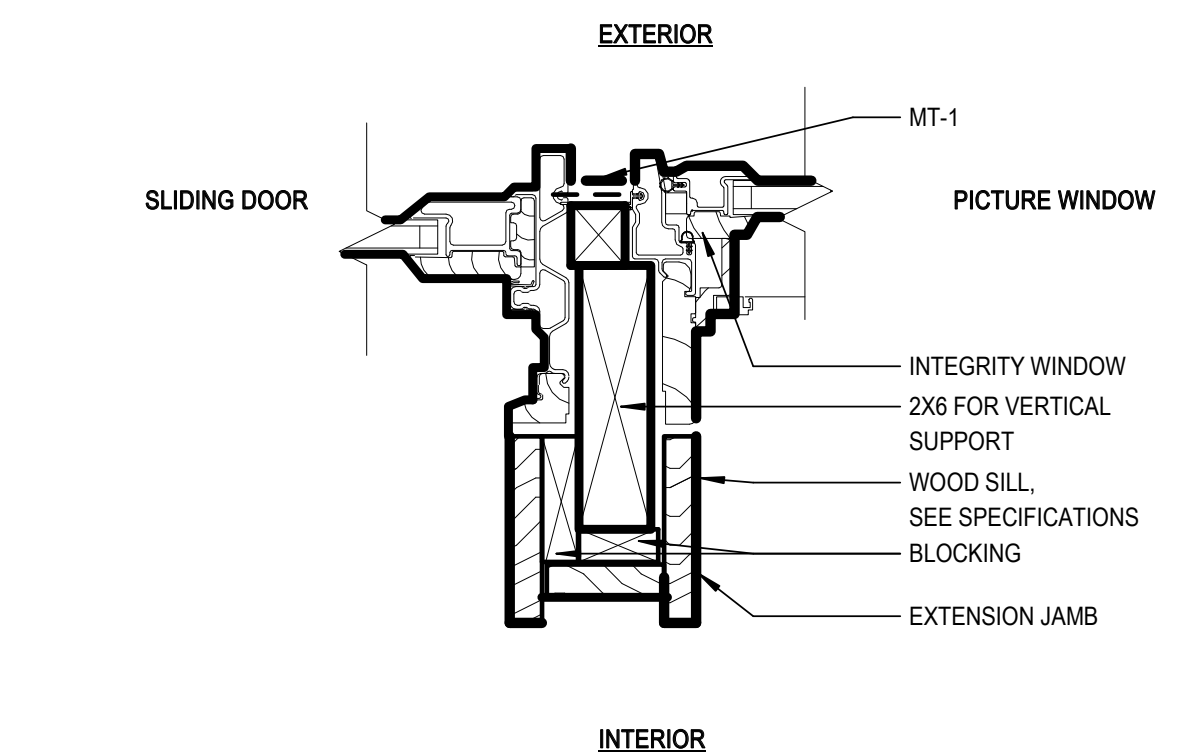
8 TYP. SILL DETAIL
3" = 1'-0"



12 EXTERIOR DOOR DETAIL AT LAUNDRY & MUD ROOM
3" = 1'-0"



10 SILL DETAIL @ SLIDING DOOR
3" = 1'-0"



13 TYP. JAMB DETAIL
3" = 1'-0"

HUDSON HOUSE

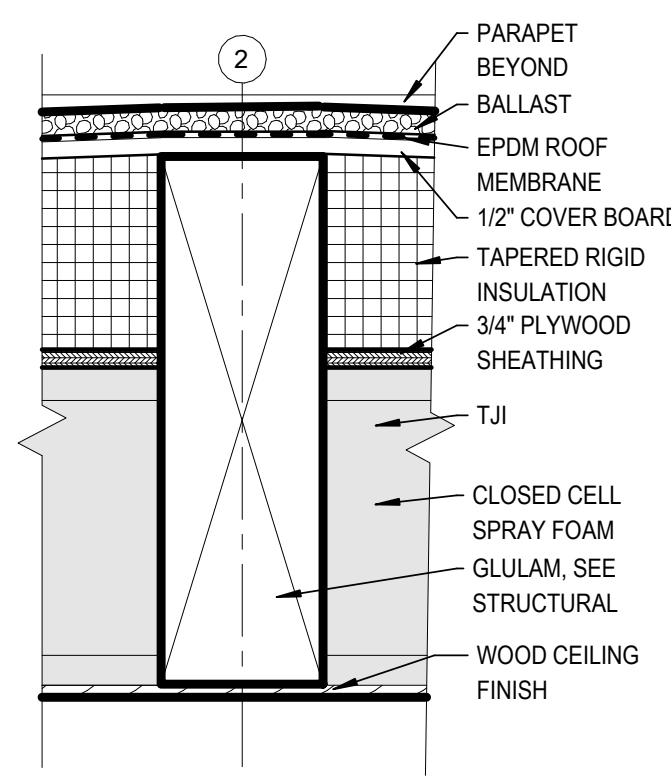
DOOR & WINDOW DETAILS

ISSUE 100% CONSTRUCTION DOCUMENTS
Date 03.02.2018
Scale 3" = 1'-0"

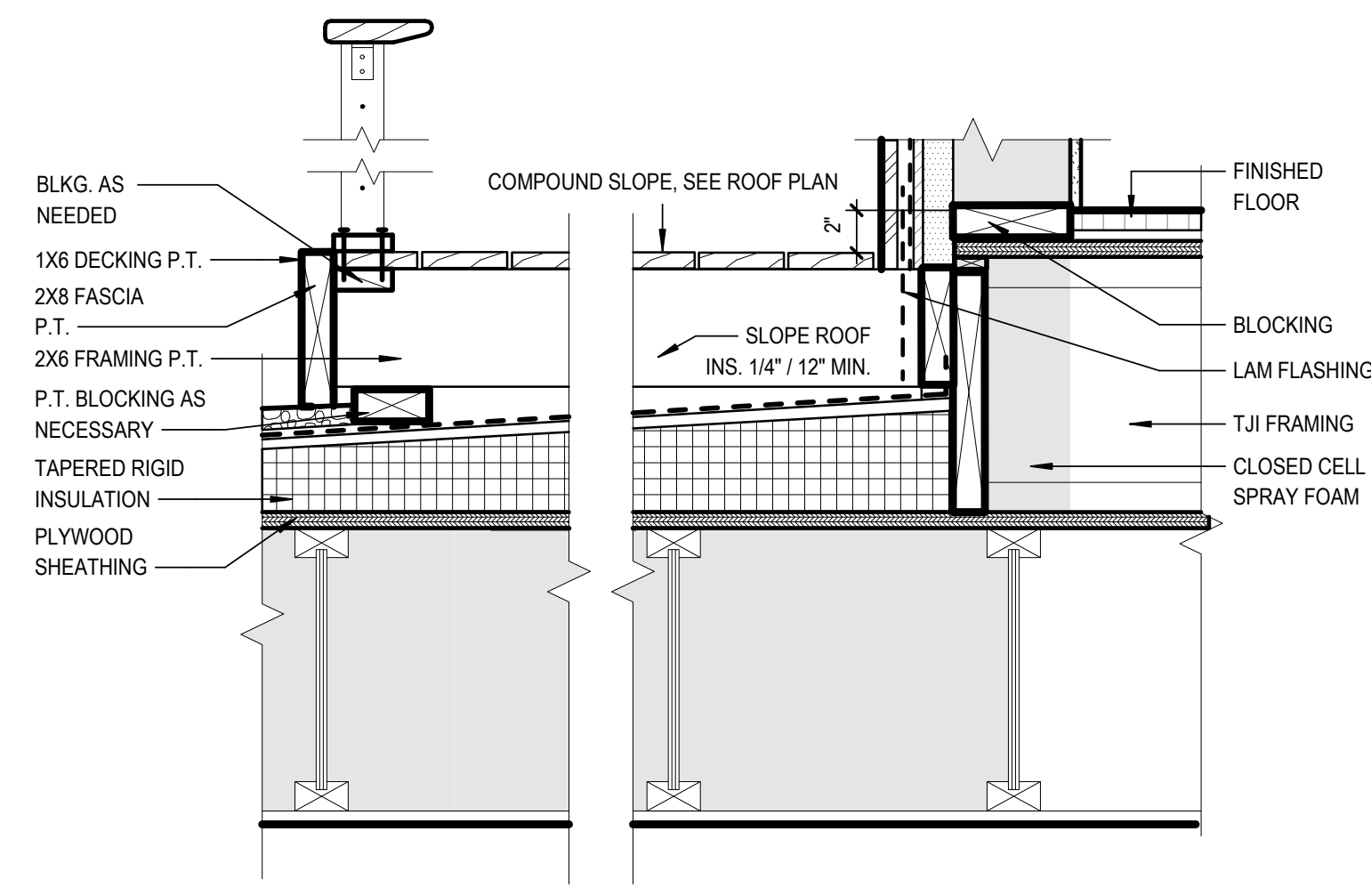
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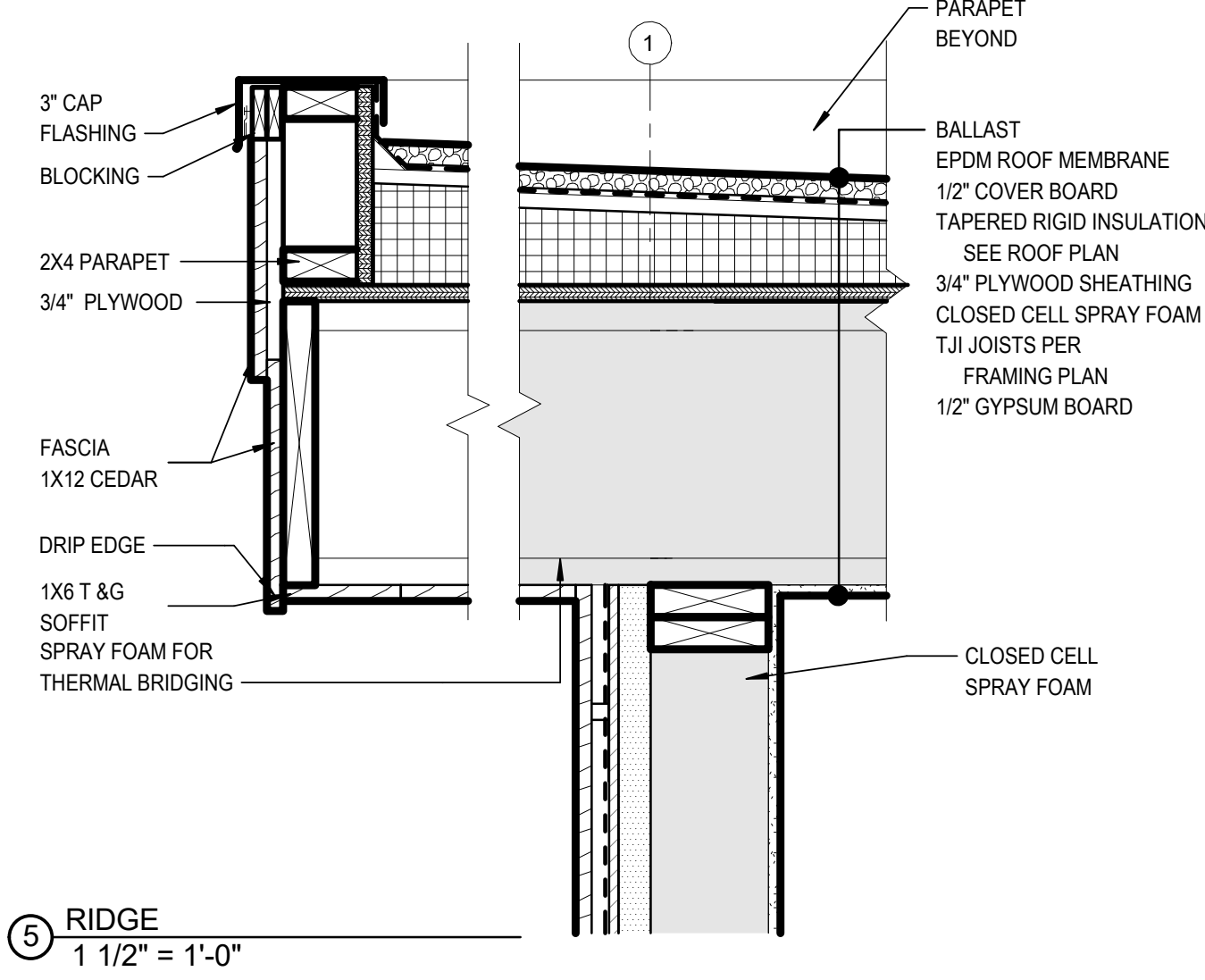
A3.07



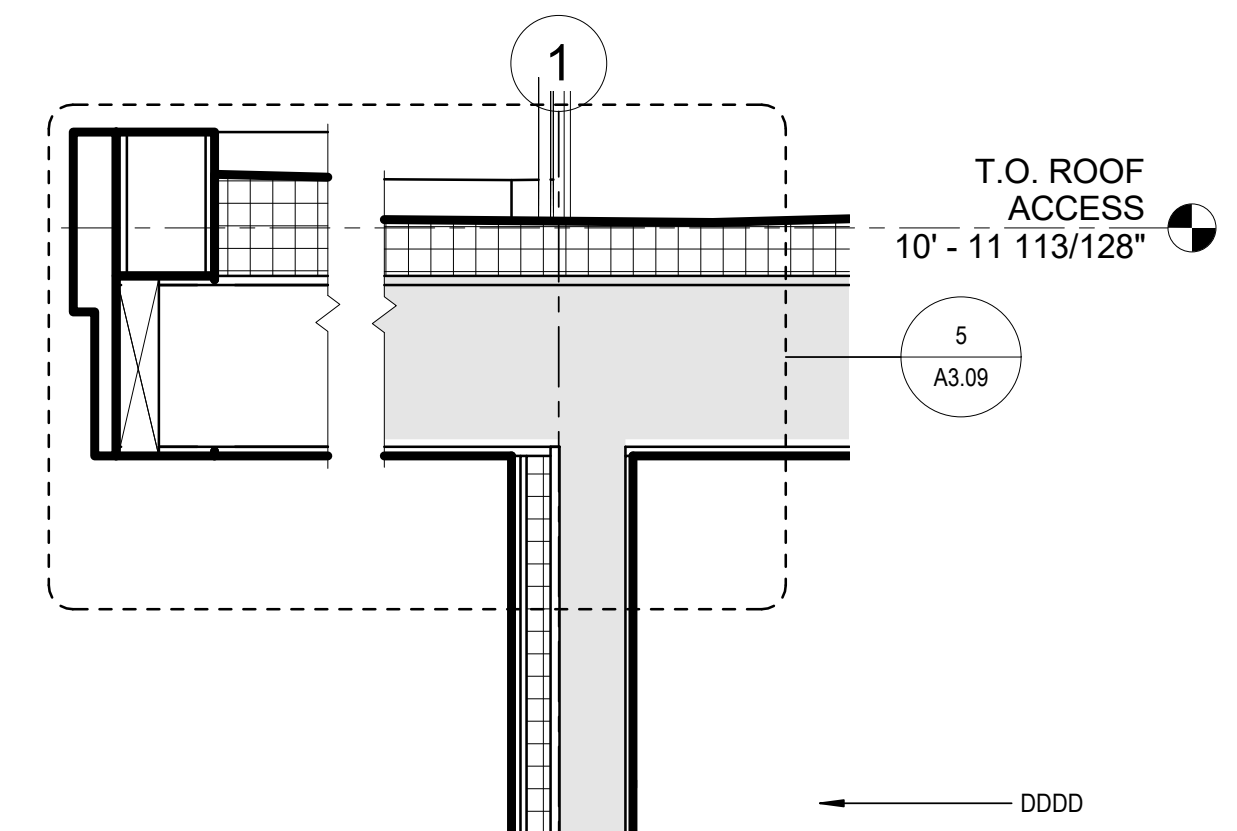
⑧ RIDGE BEAM
1 1/2" = 1'-0"



② ROOF ACCESS FLOOR
1 1/2" = 1'-0"

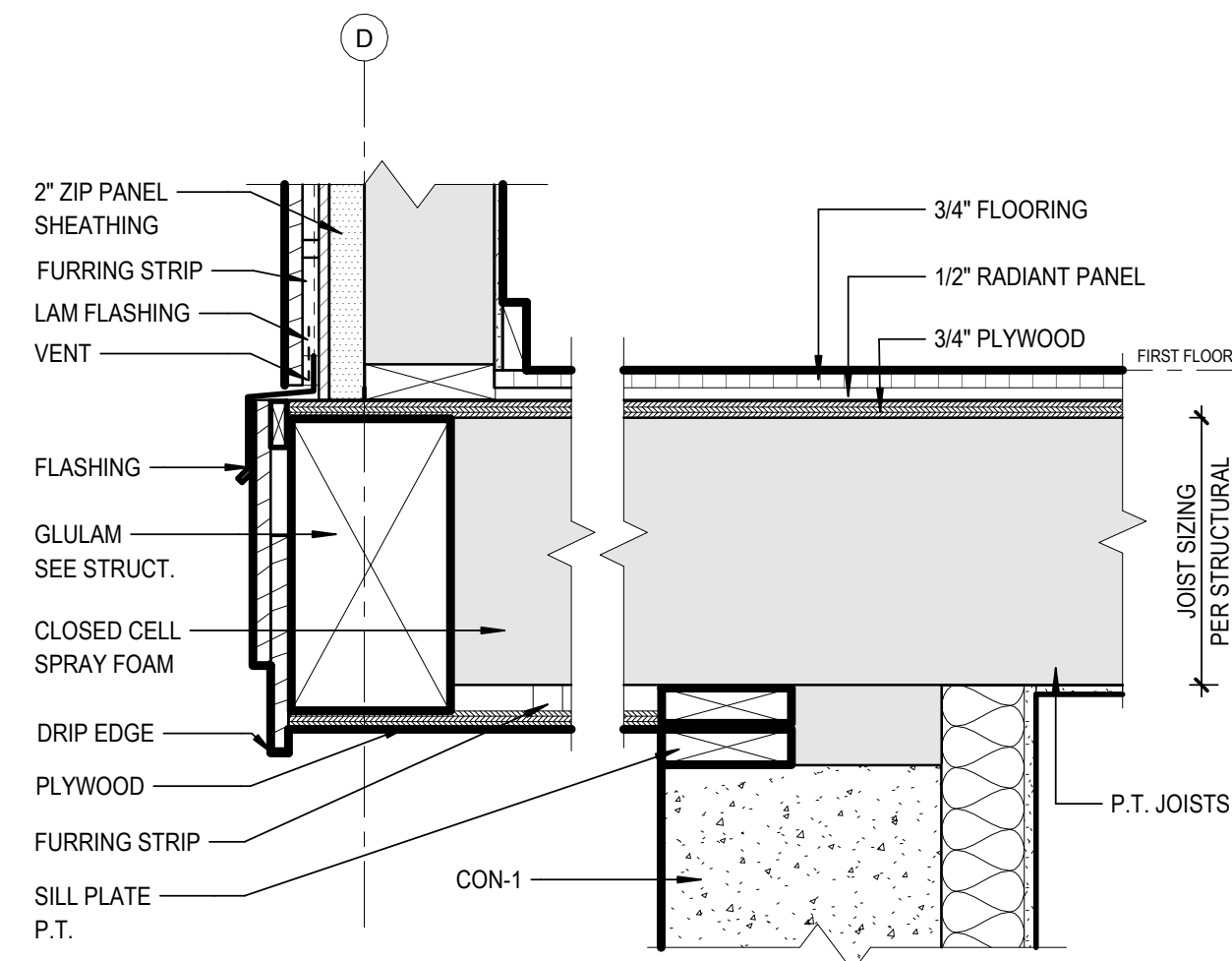


⑤ RIDGE
1 1/2" = 1'-0"

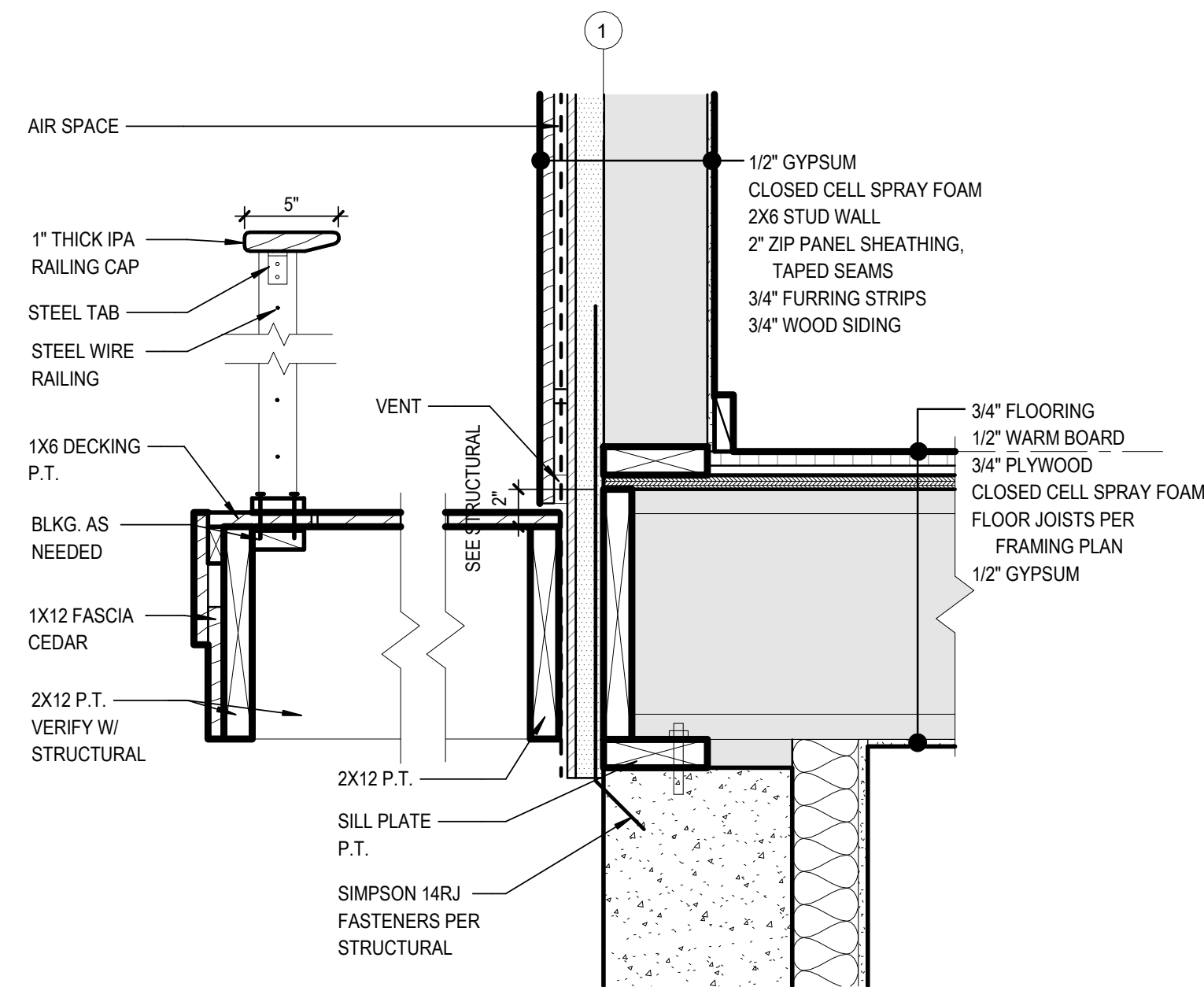


T.O. ROOF ACCESS
10' - 11 113/128"

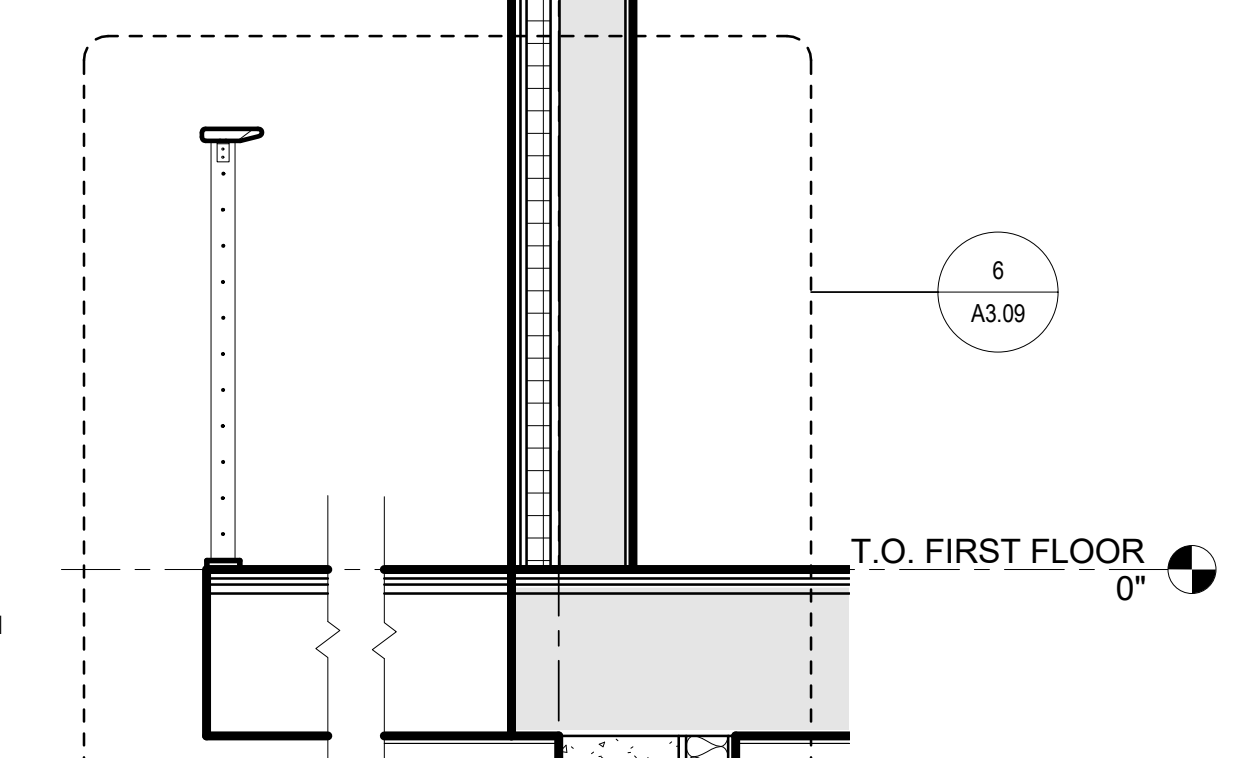
5
A3.09



③ CONCRETE WALL
1 1/2" = 1'-0"

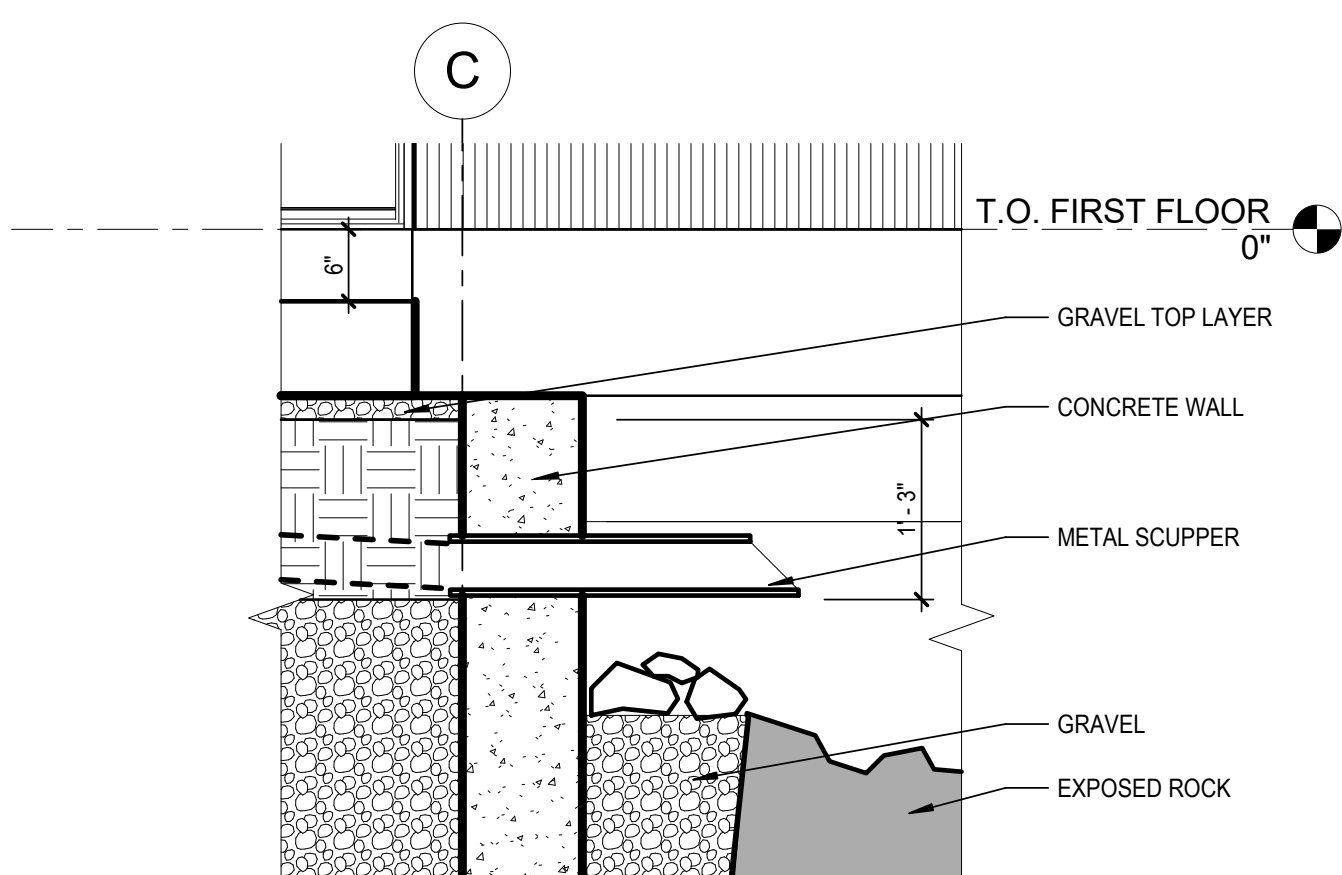


⑥ DECK CONNECTION
1 1/2" = 1'-0"

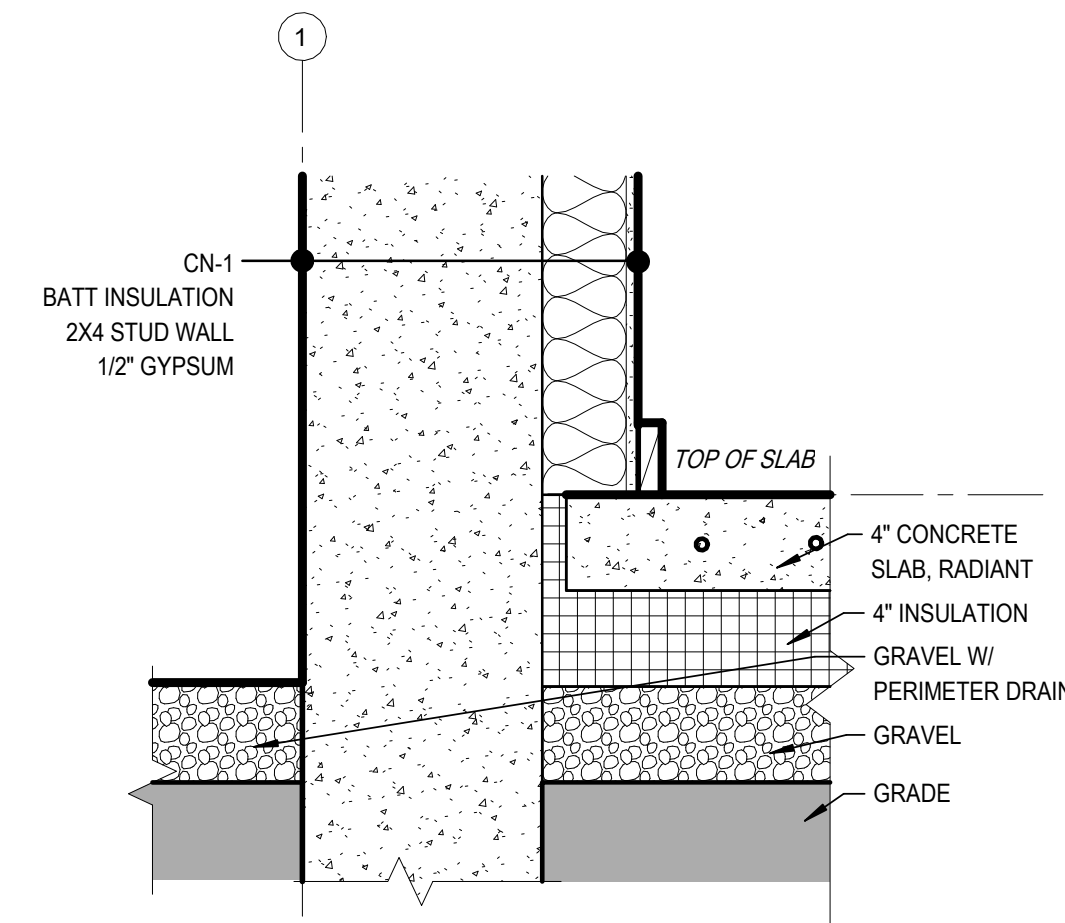


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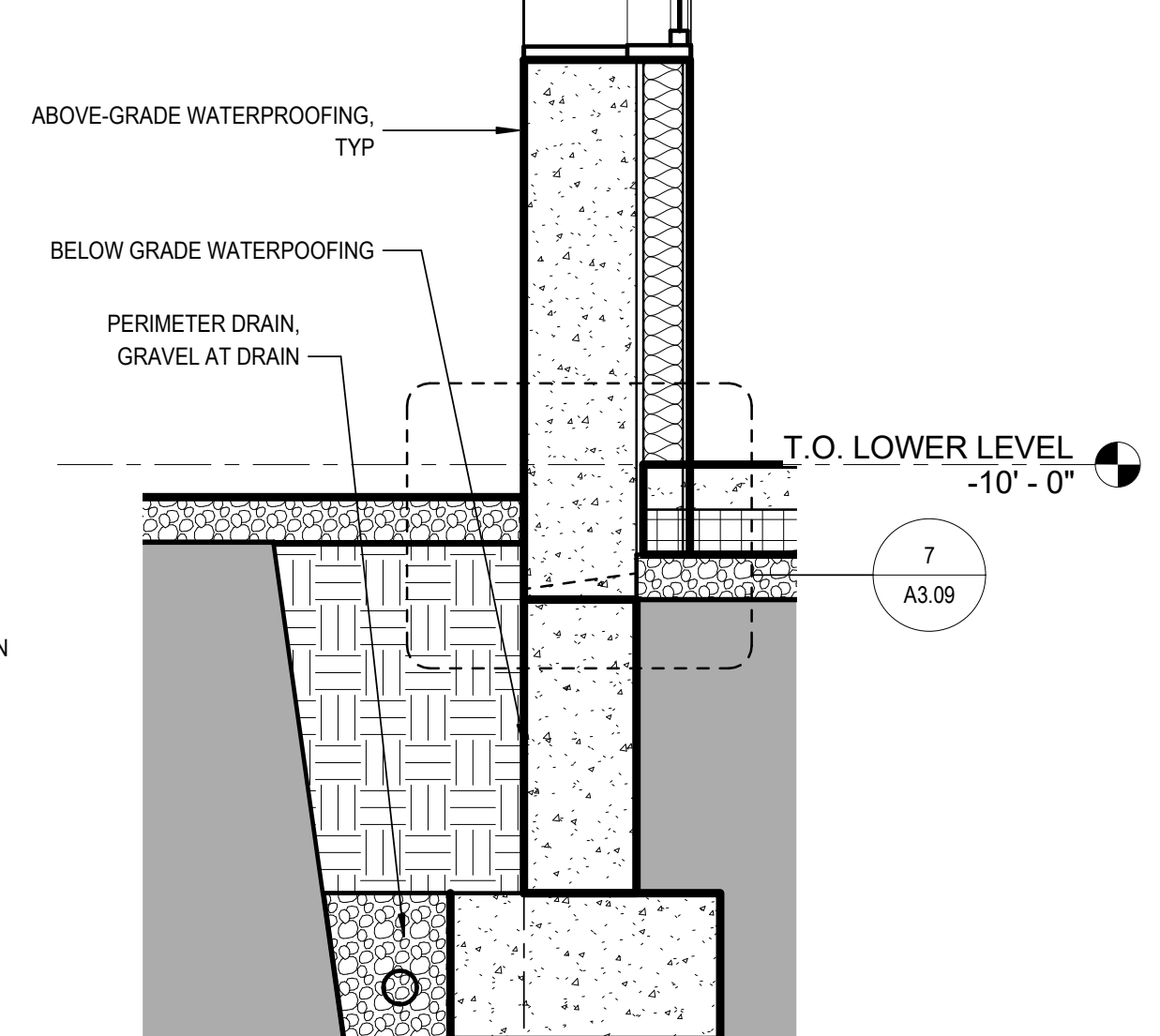
T.O. FIRST FLOOR
0"



① WALL SCUPPER
3/4" = 1'-0"



⑦ WALL TO FLOOR ASSEMBLY
1 1/2" = 1'-0"



7
A3.09

④ WALL SECTION TYP.
3/4" = 1'-0"

HUDSON HOUSE

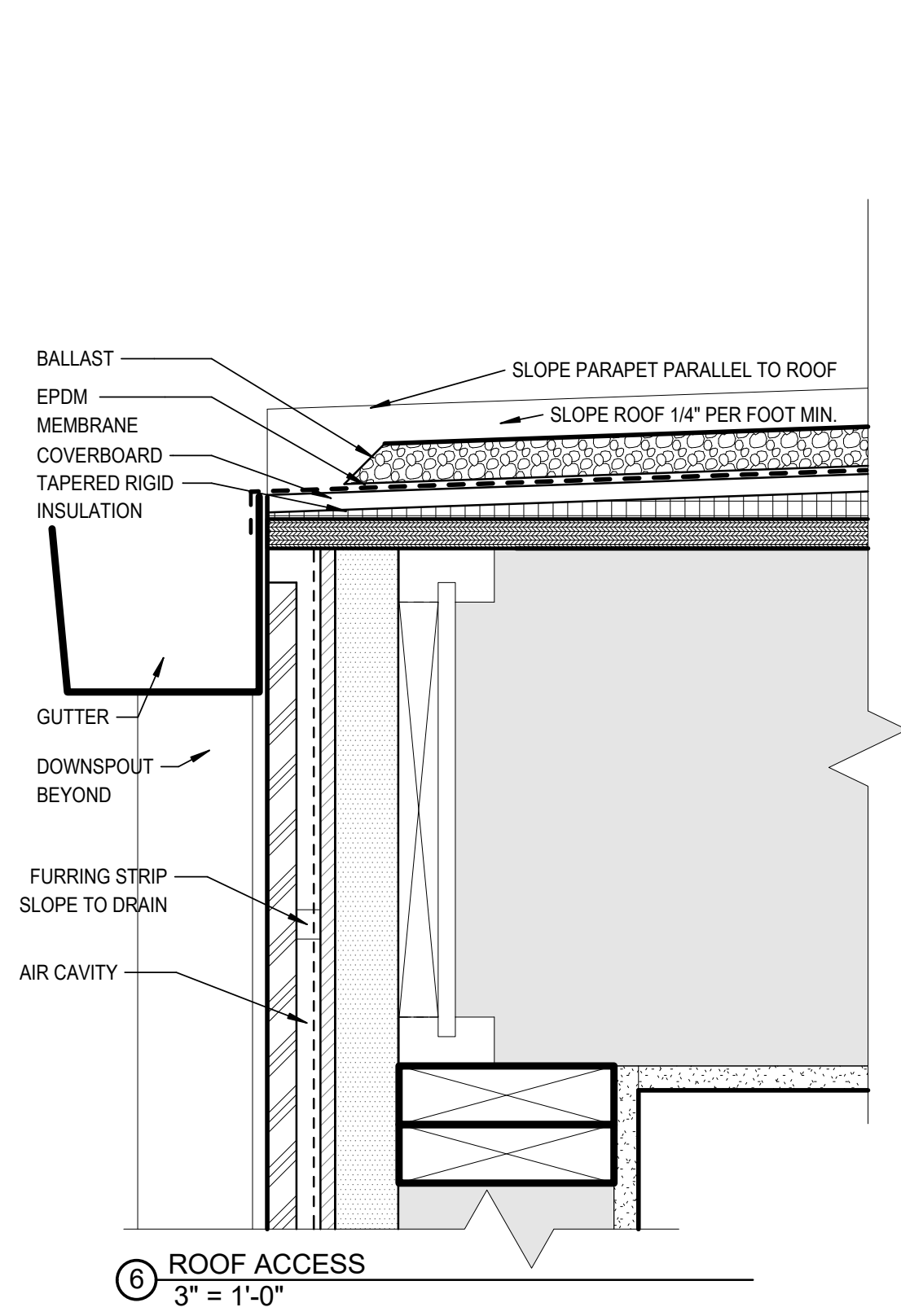
WALL SECTIONS

ISSUE 100% CONSTRUCTION DOCUMENTS
Date 03.02.2018
Scale As indicated

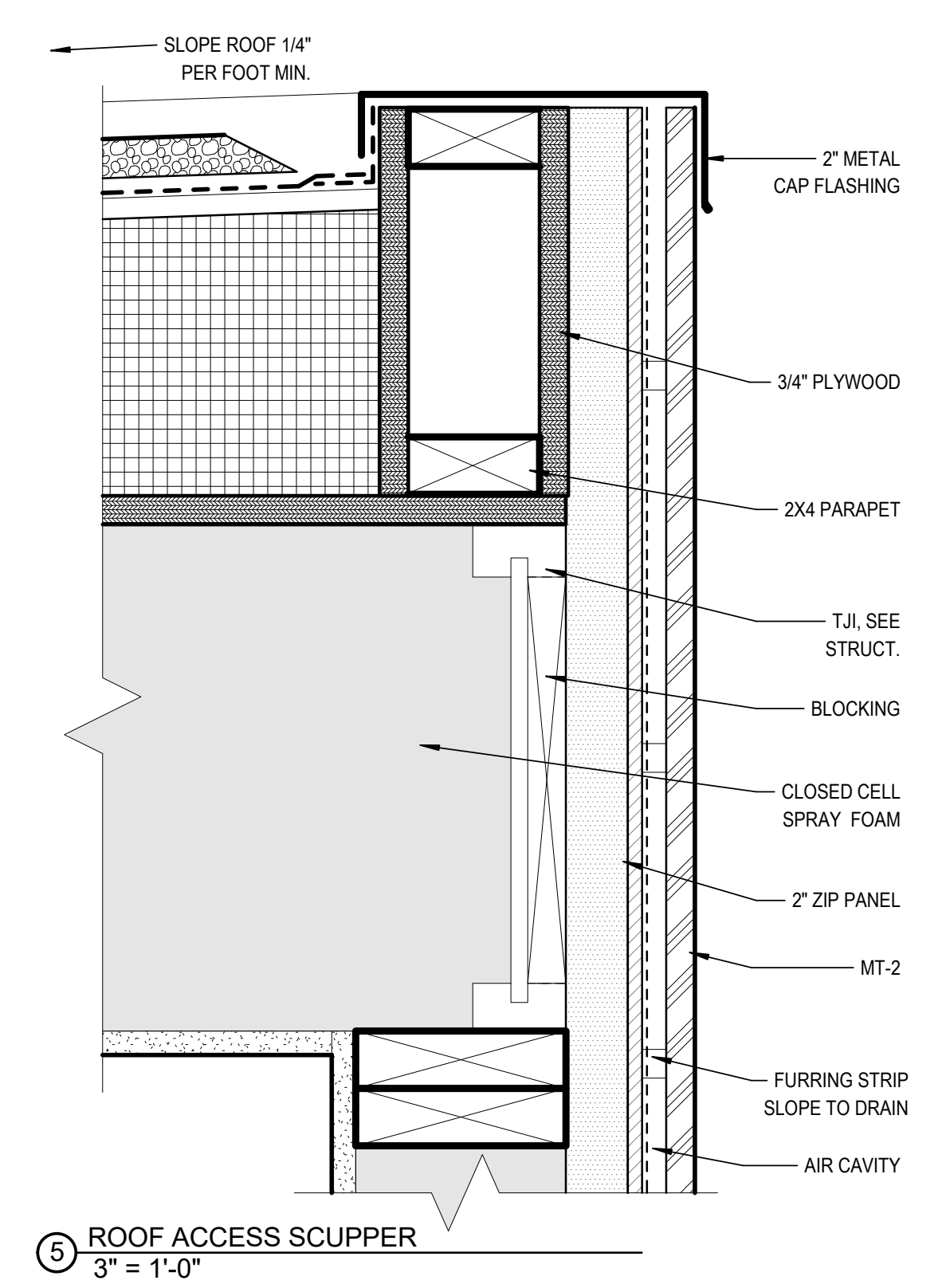
SA+UD

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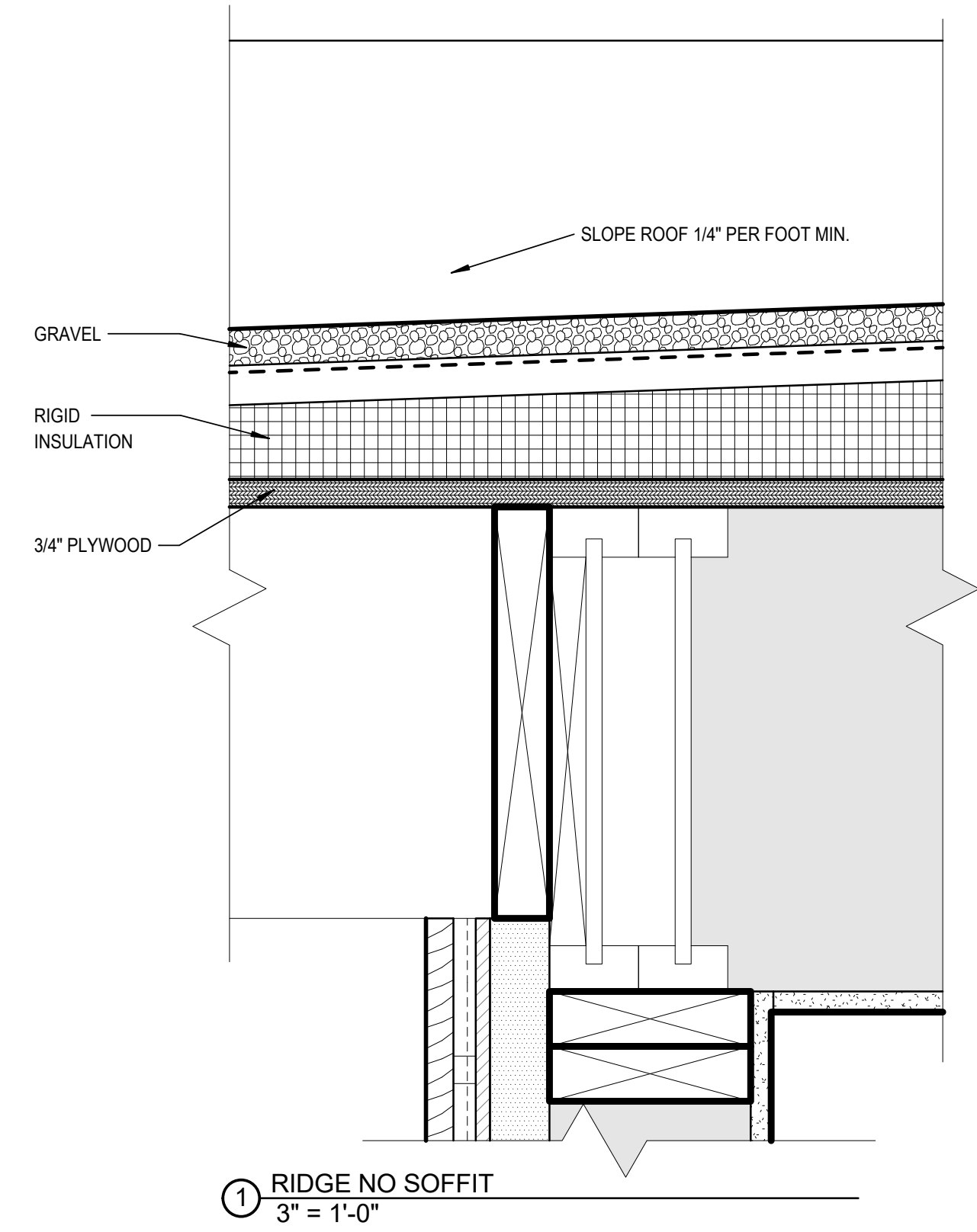
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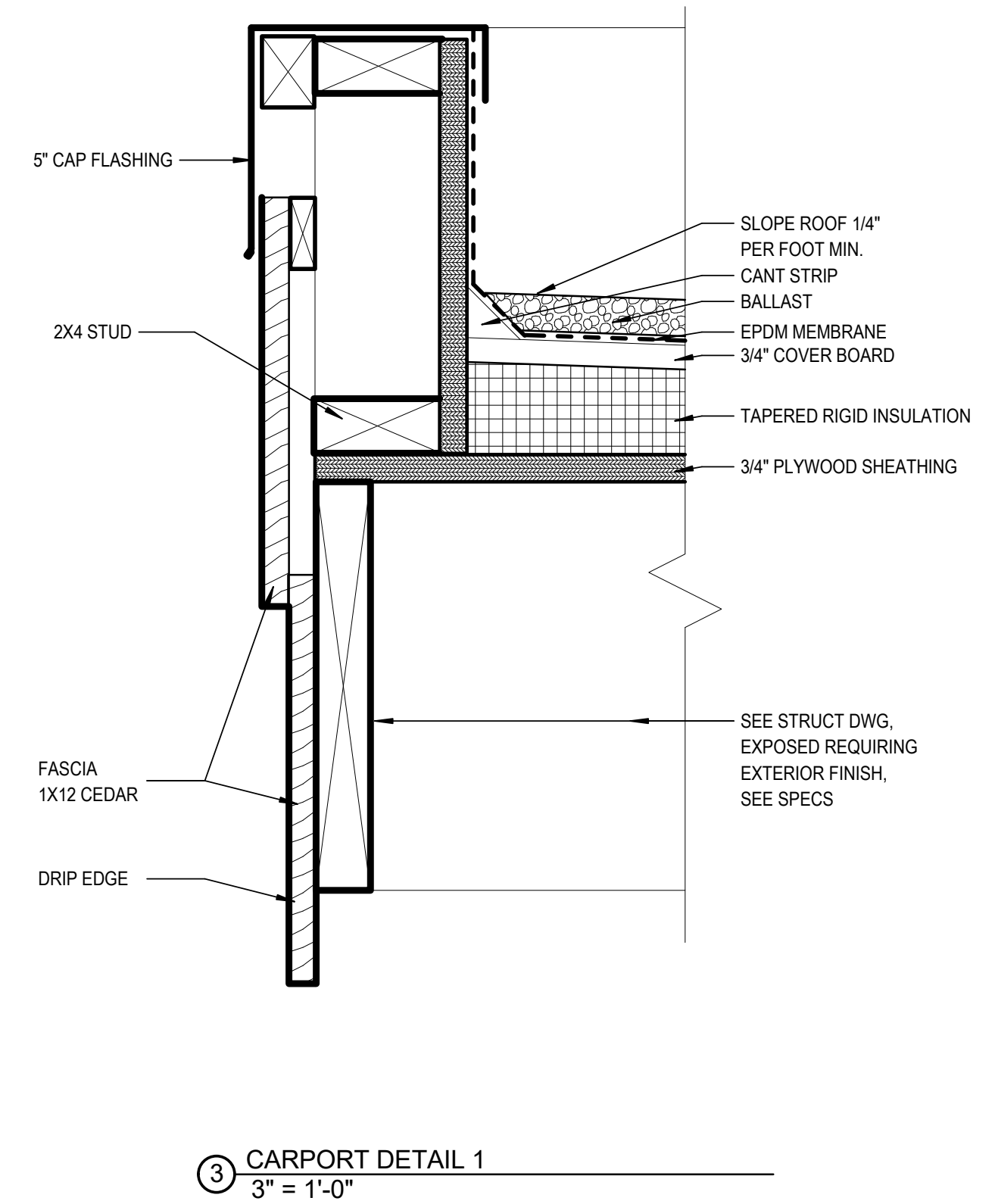
6 ROOF ACCESS
3" = 1'-0"



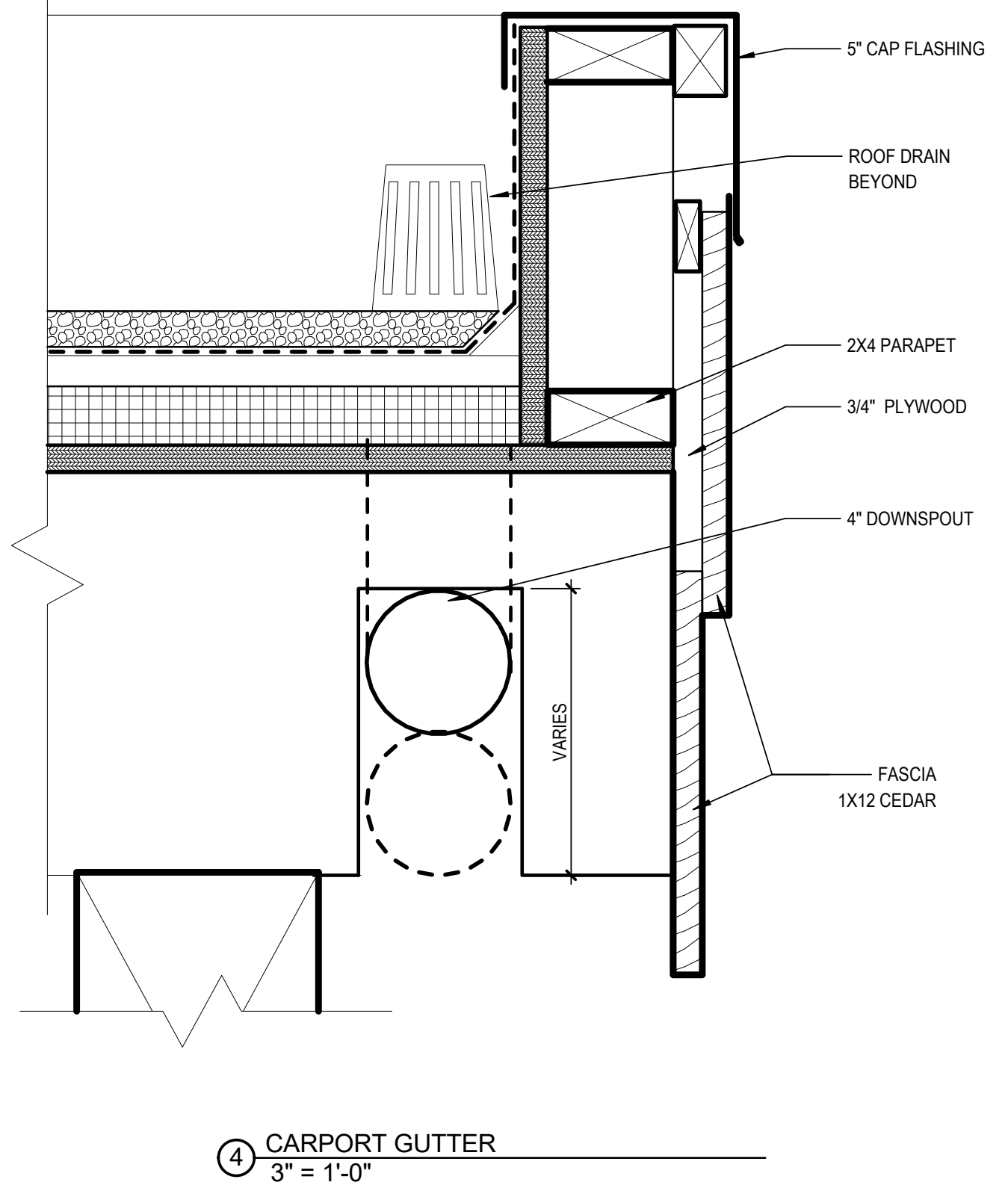
5 ROOF ACCESS SCUPPER
3" = 1'-0"



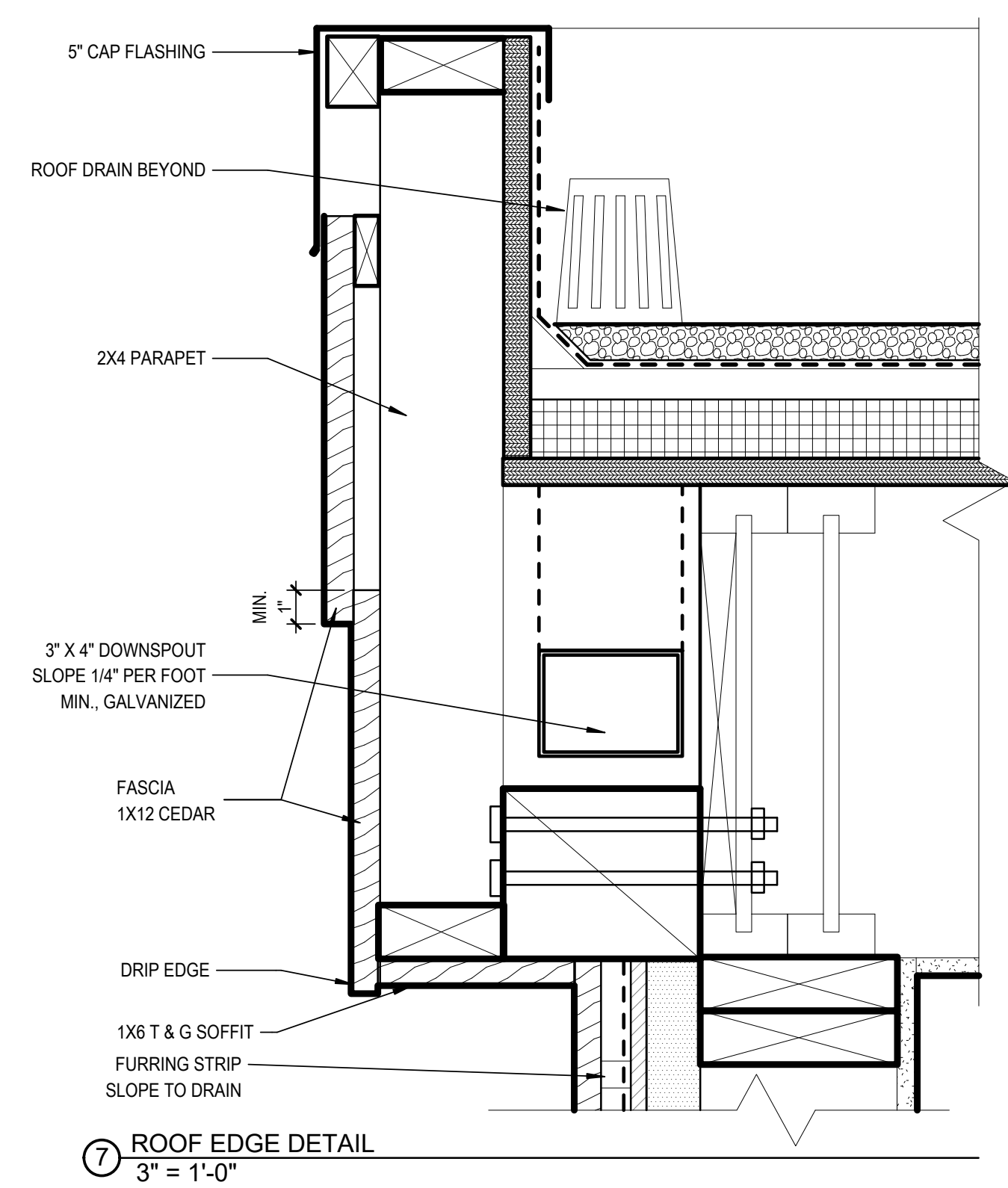
1 RIDGE NO SOFFIT
3" = 1'-0"



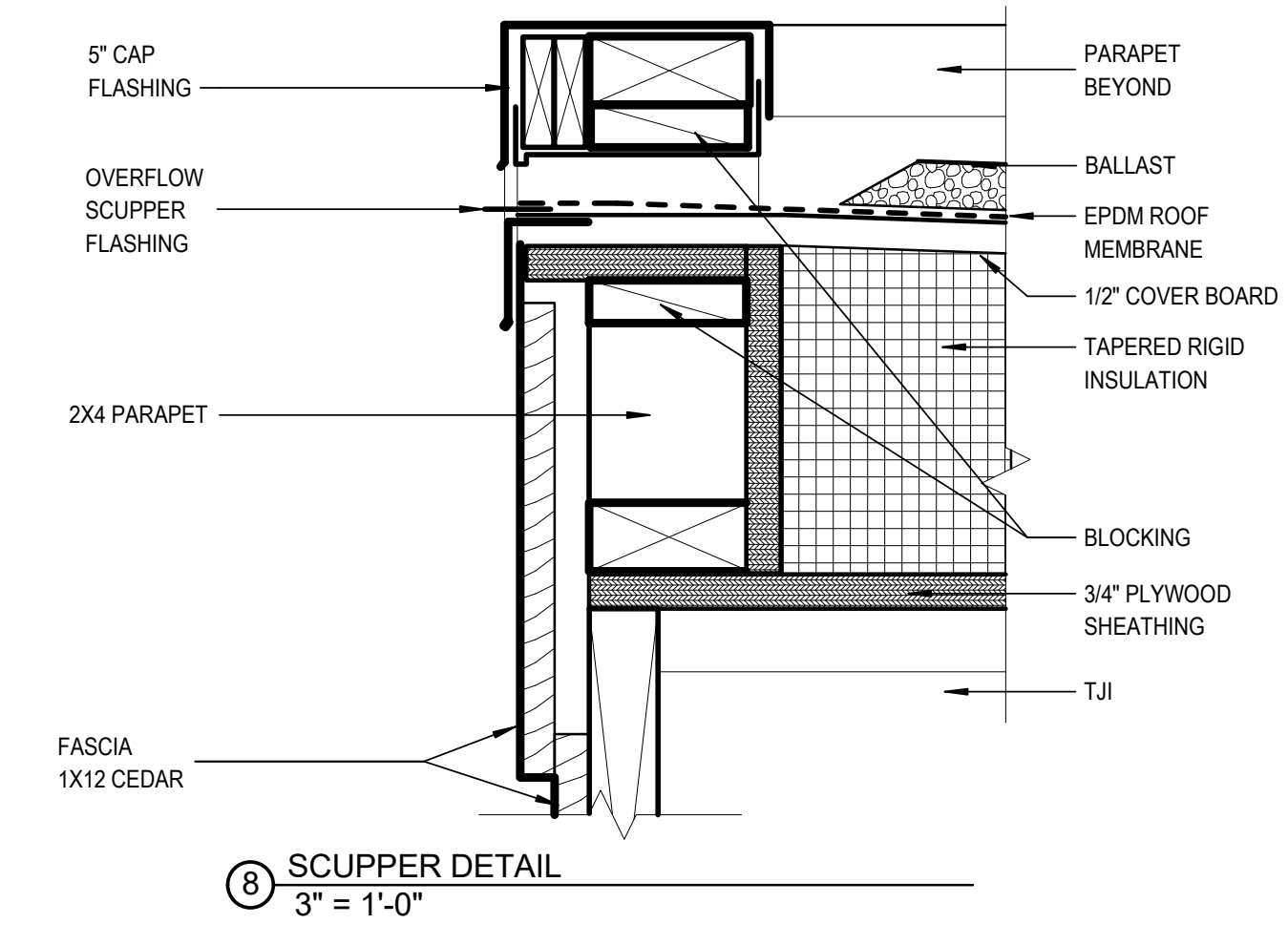
3 CARPORT DETAIL 1
3" = 1'-0"



4 CARPORT GUTTER
3" = 1'-0"



7 ROOF EDGE DETAIL
3" = 1'-0"



8 SCUPPER DETAIL
3" = 1'-0"

HUDSON HOUSE

ENCLOSURE DETAILS

ISSUE 100% CONSTRUCTION DOCUMENTS

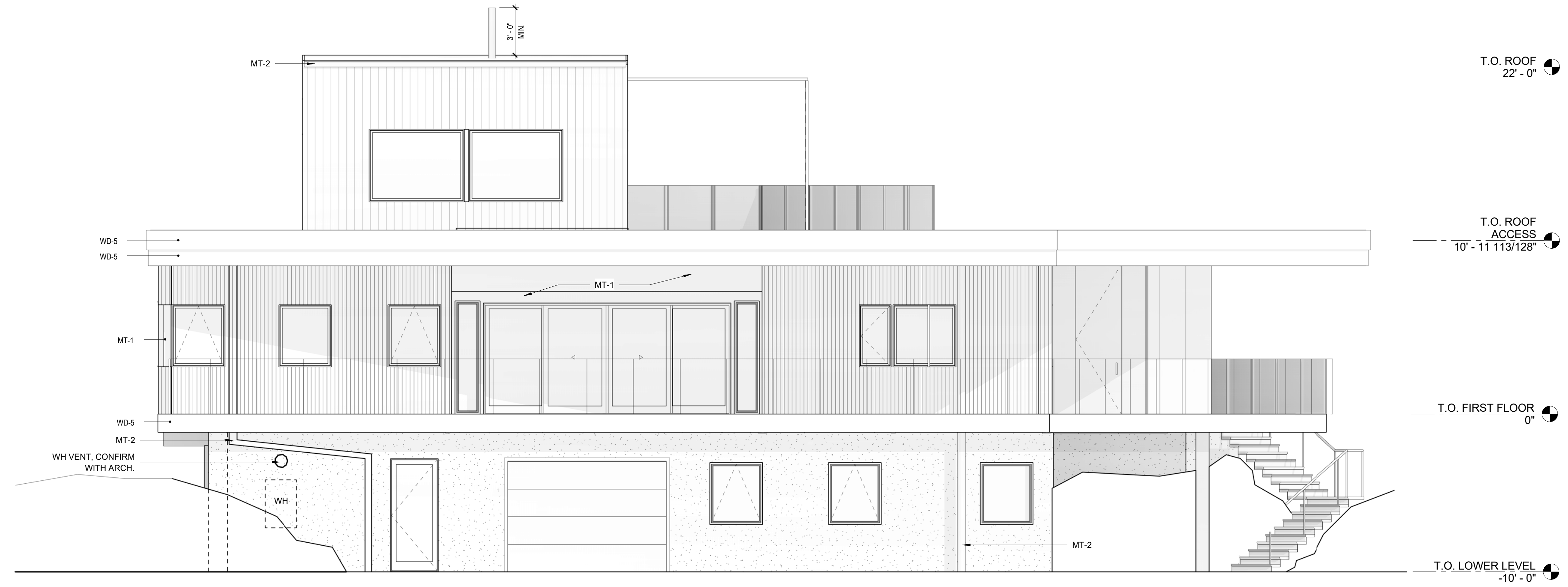
Date 03.02.2018

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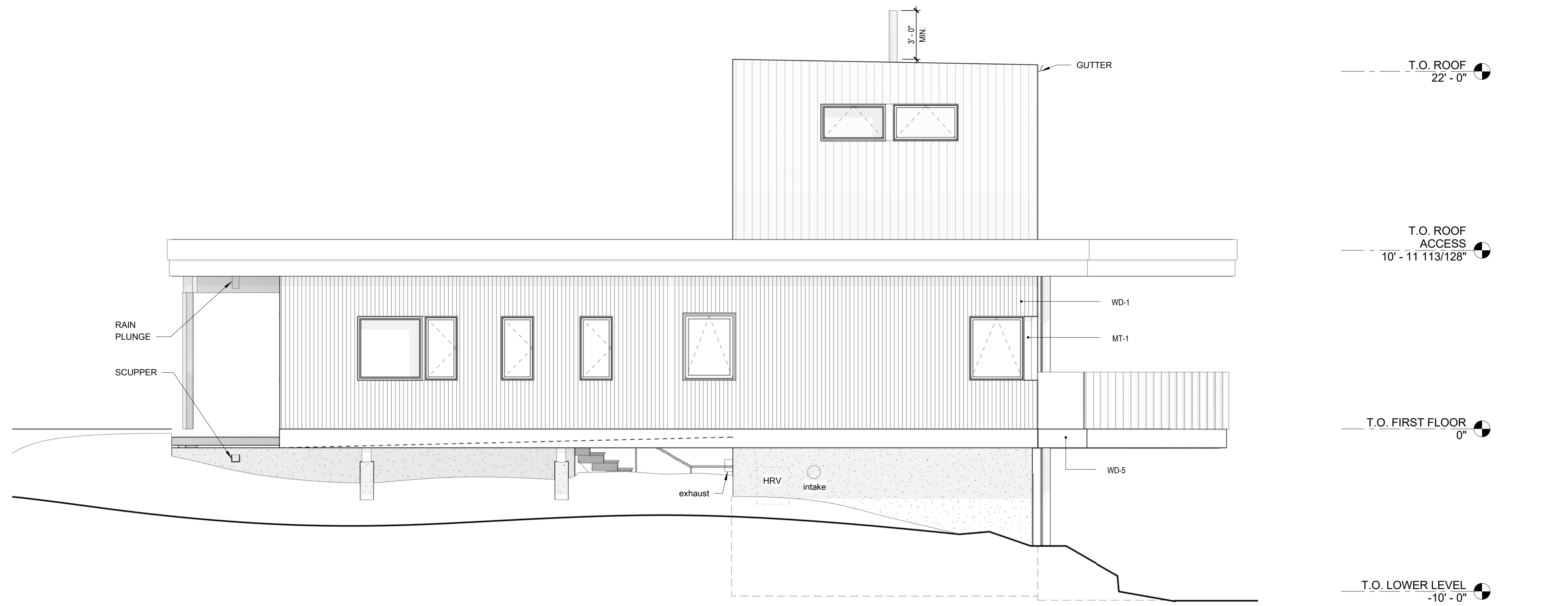
SA+UD

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A3.11

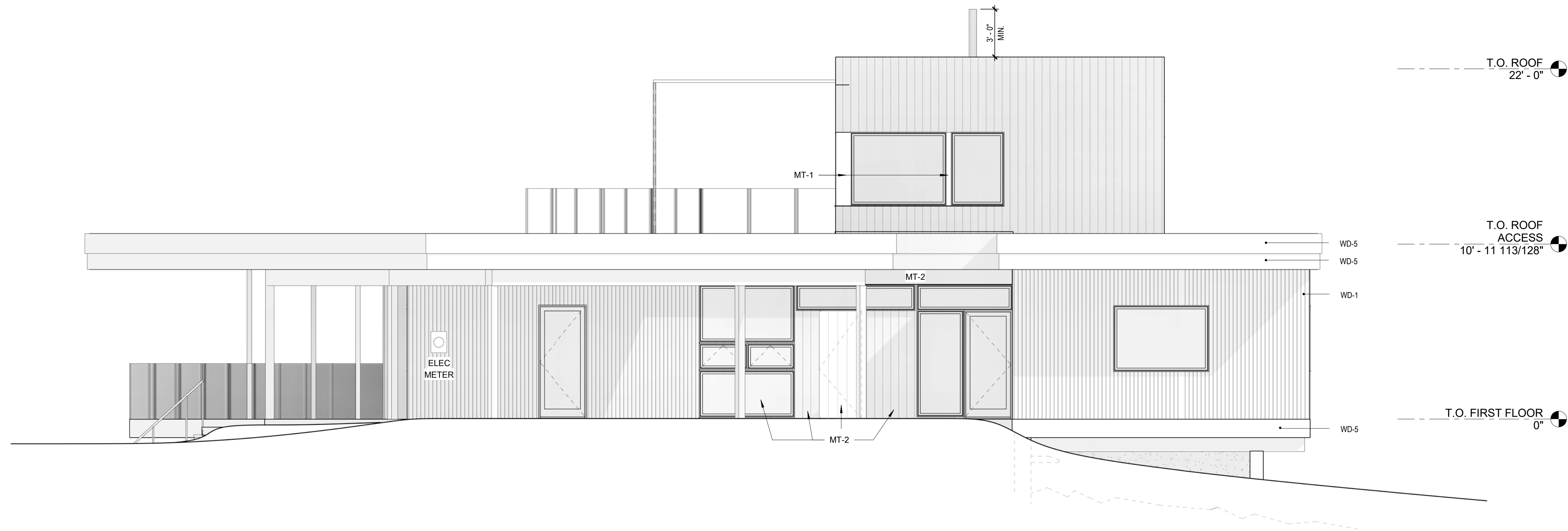


① NORTH-WEST ELEVATION
1/4" = 1'-0"

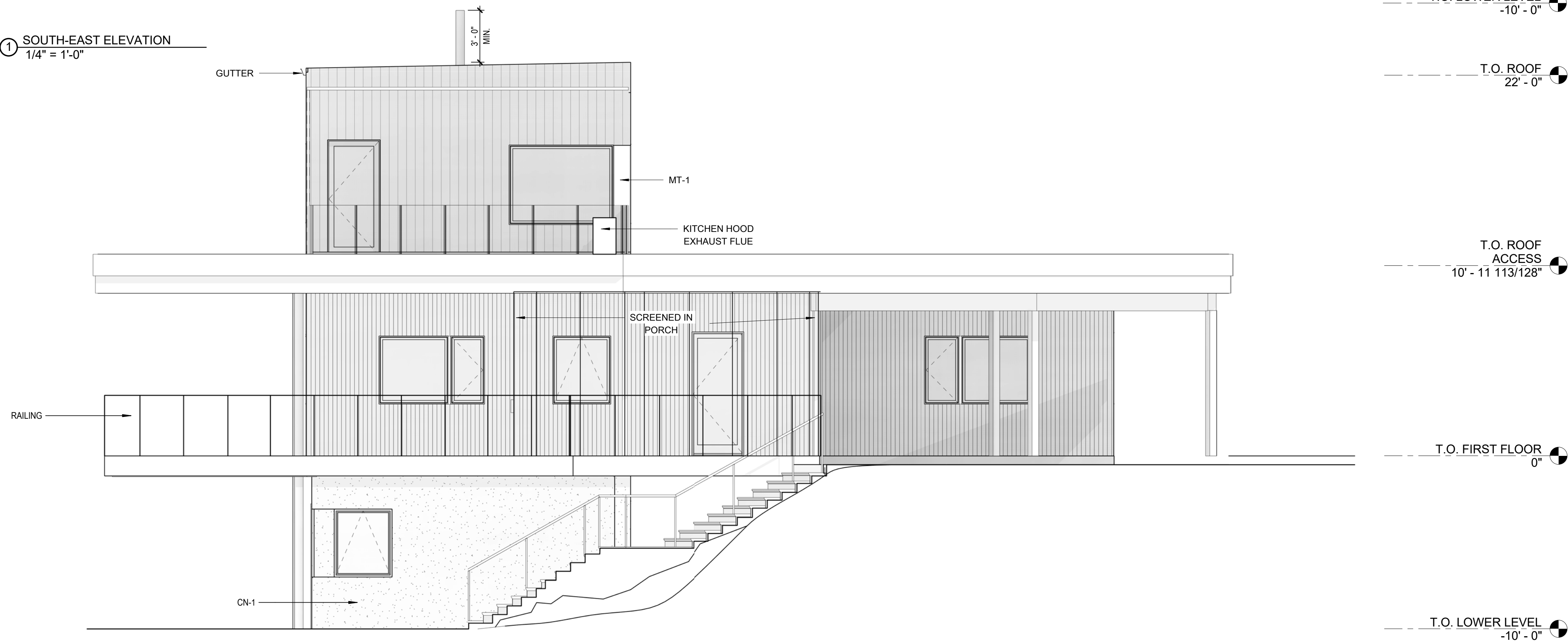


② NORTH-EAST ELEVATION
1/4" = 1'-0"

HUDSON HOUSE	
ELEVATIONS	ISSUE 100% CONSTRUCTION DOCUMENTS
	Date 03.02.2018
	Scale 1/4" = 1'-0"
SA+UD	A4.01
<small>Philip Speranza, Architect t. 1 917 579 0152 e. speranza@speranzaarchitecture.com</small>	

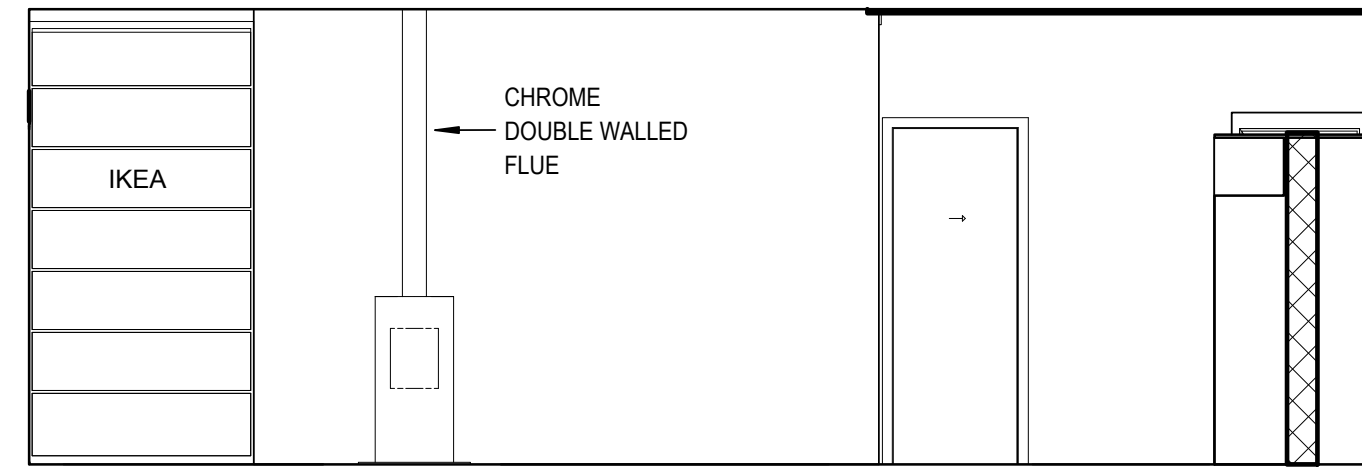


① SOUTH-EAST ELEVATION
1/4" = 1'-0"

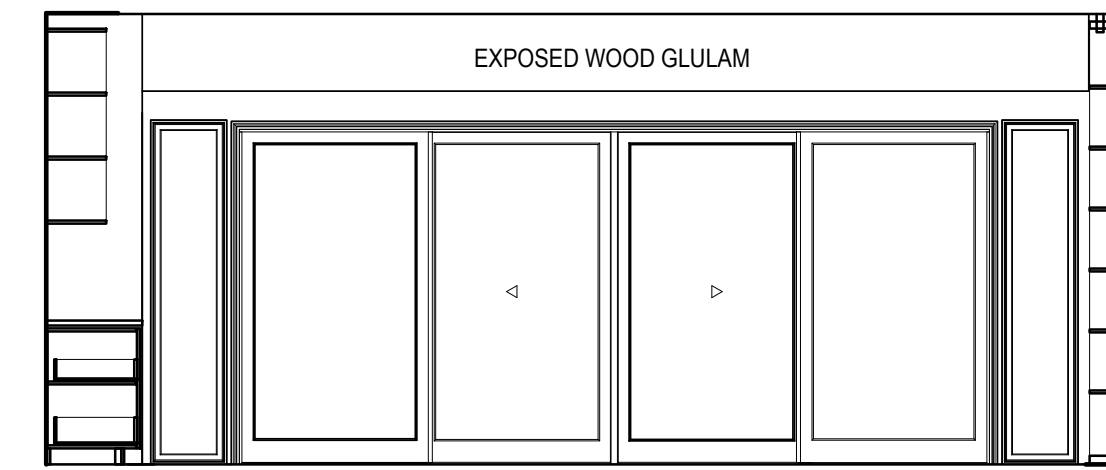


② SOUTH-WEST ELEVATION
1/4" = 1'-0"

HUDSON HOUSE	
ELEVATIONS	ISSUE 100% CONSTRUCTION DOCUMENTS
Date	03.02.2018
Scale	1/4" = 1'-0"
SA+UD	A4.02
<small>Philip Speranza, Architect t: 1 917 573 0152 e: speranza@speranzaarchitecture.com</small>	



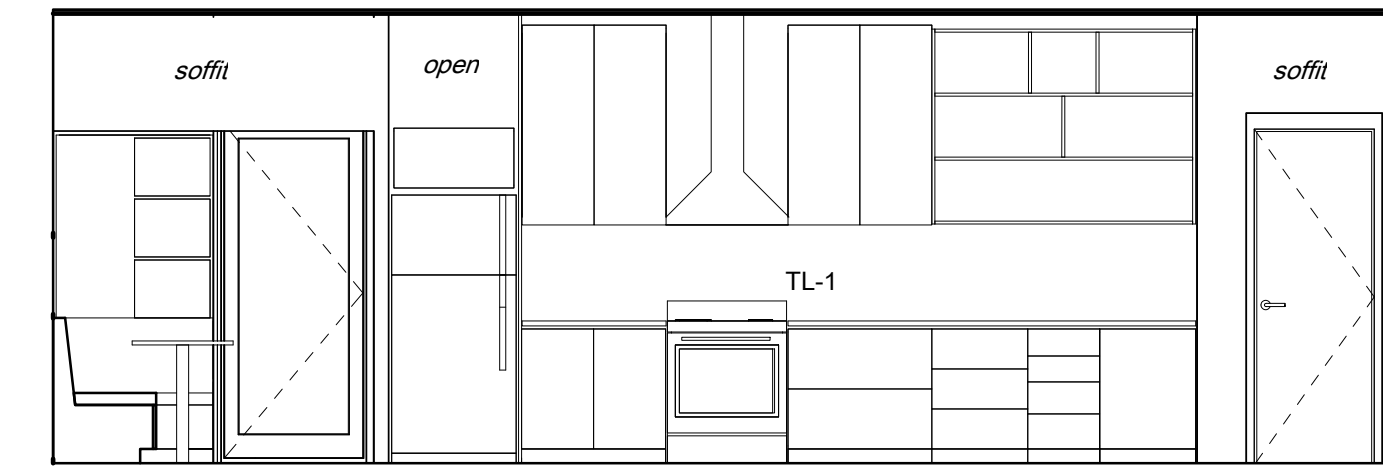
9 LIVING NORTH-EAST
1/4" = 1'-0"



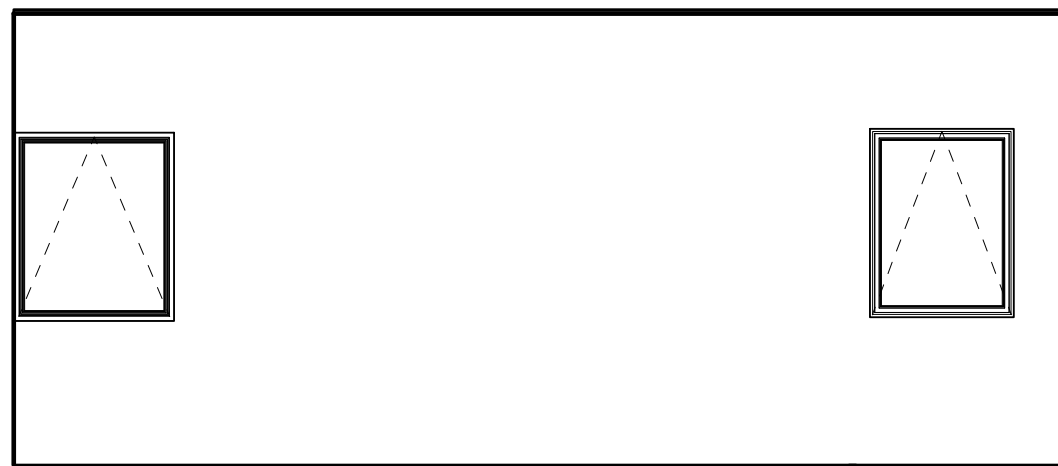
10 LIVING NORTH-WEST
1/4" = 1'-0"



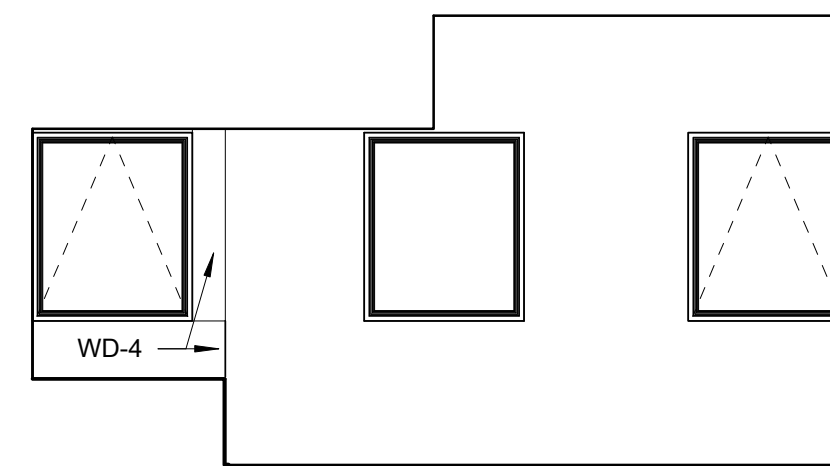
11 LIVING SOUTH-EAST
1/4" = 1'-0"



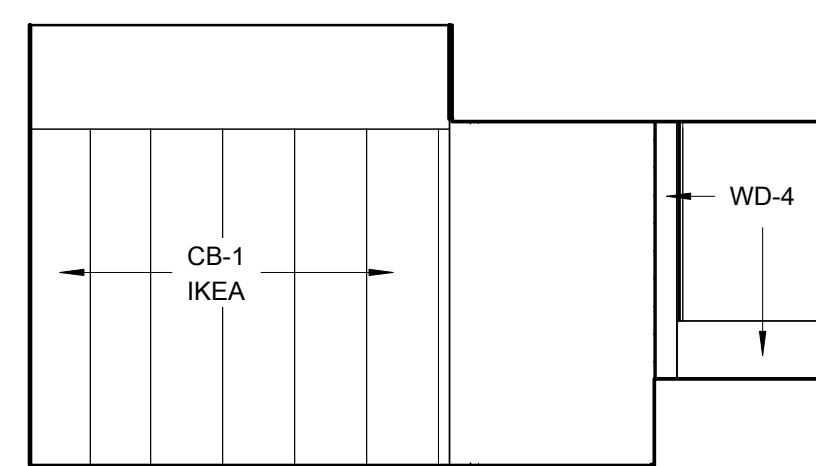
12 LIVING SOUTH-WEST
1/4" = 1'-0"



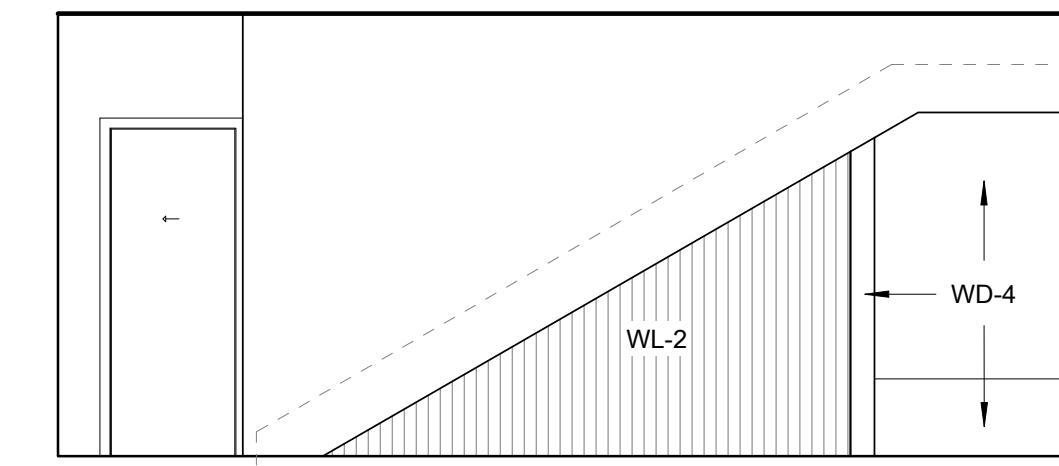
13 STUDIO NORTH-EAST
1/4" = 1'-0"



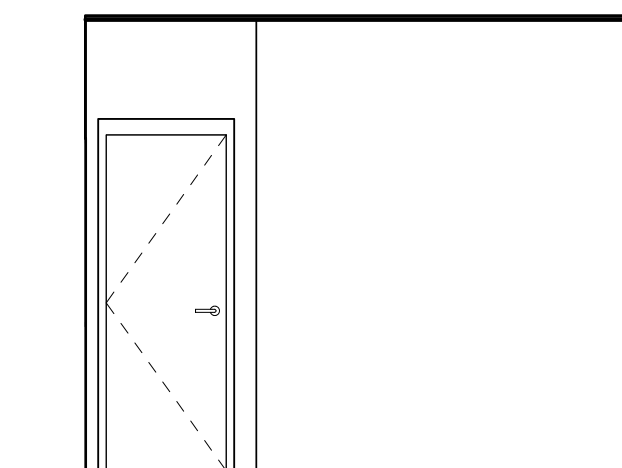
14 STUDIO NORTH-WEST
1/4" = 1'-0"



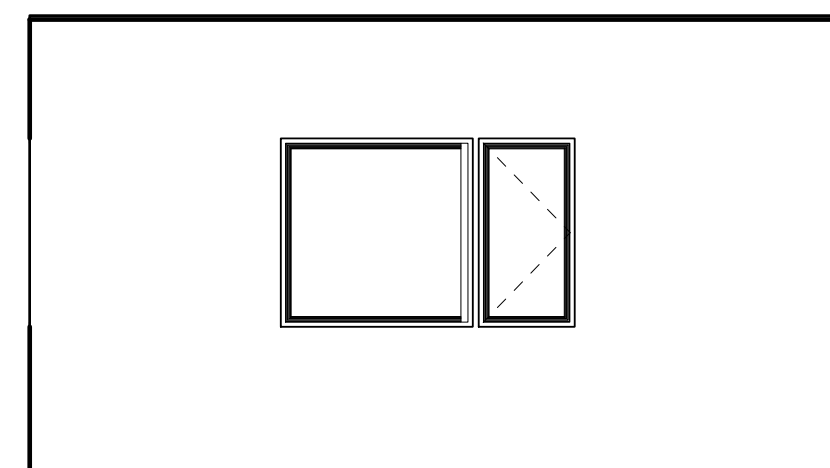
15 STUDIO SOUTH-EAST
1/4" = 1'-0"



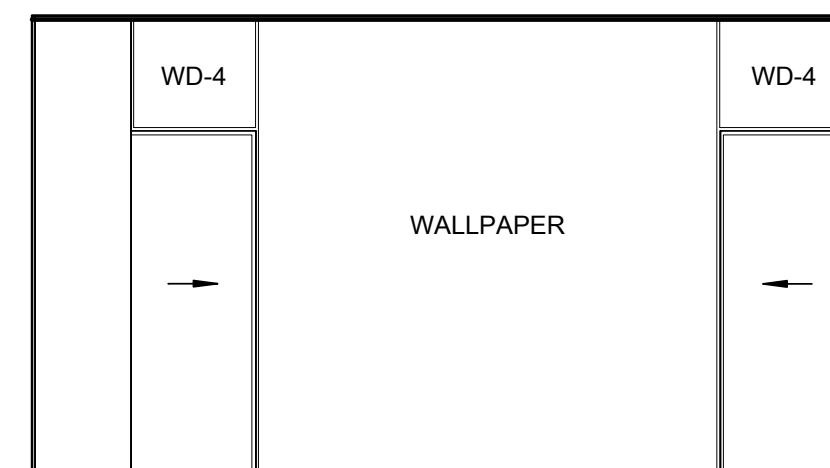
16 STUDIO SOUTH-WEST
1/4" = 1'-0"



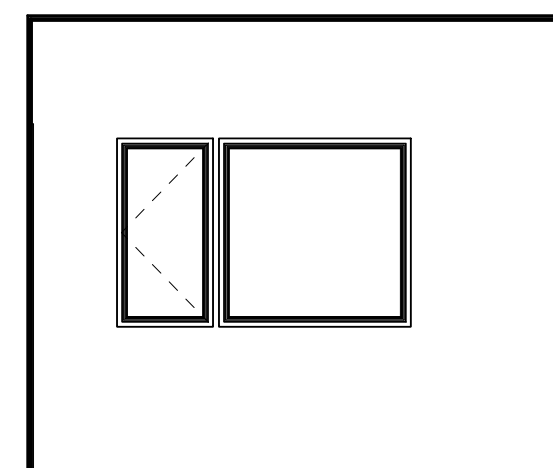
5 MASTER BEDROOM NORTH-EAST
1/4" = 1'-0"



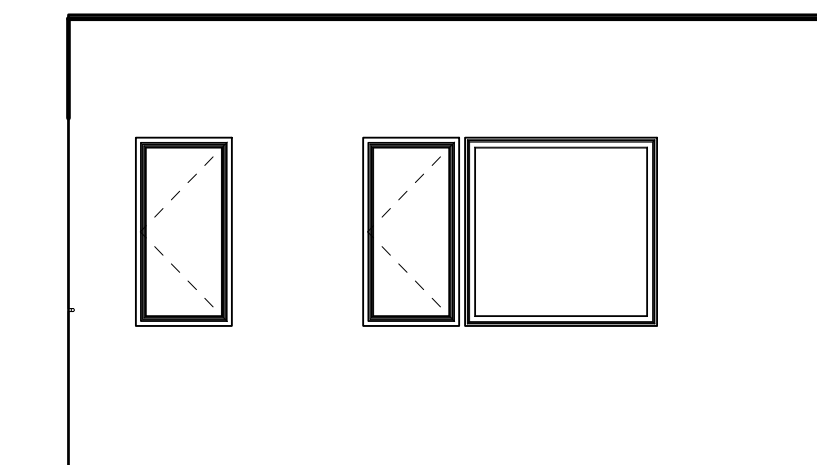
6 MASTER BEDROOM NORTH-WEST
1/4" = 1'-0"



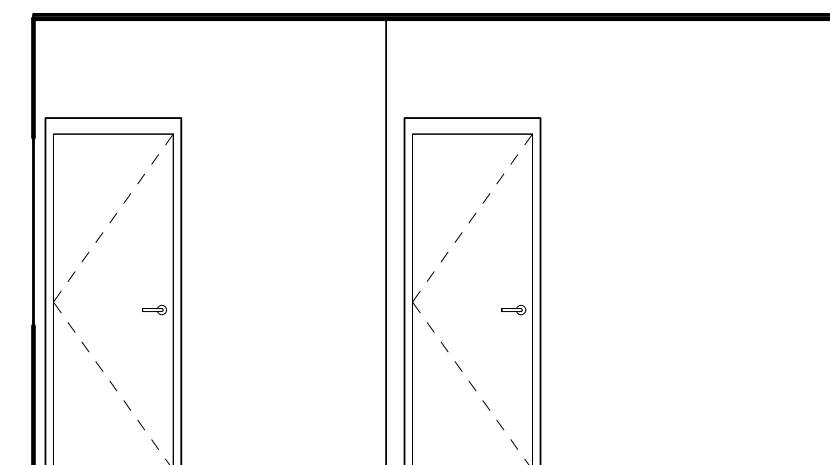
7 MASTER BEDROOM SOUTH-EAST
1/4" = 1'-0"



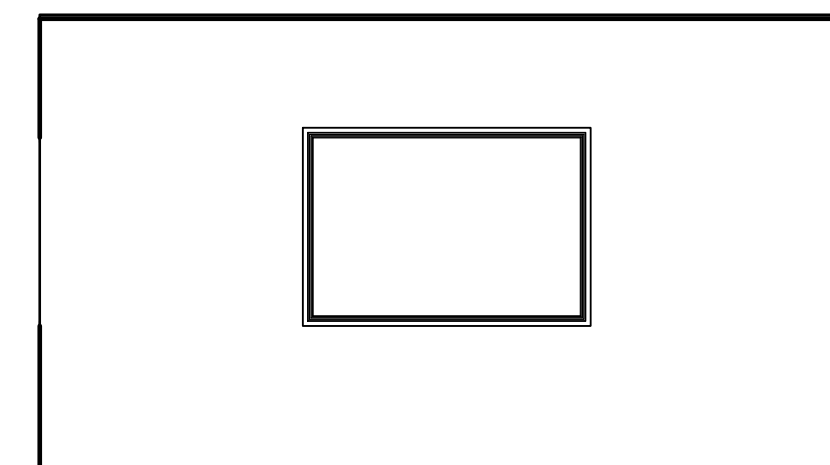
8 MASTER BEDROOM SOUTH-WEST
1/4" = 1'-0"



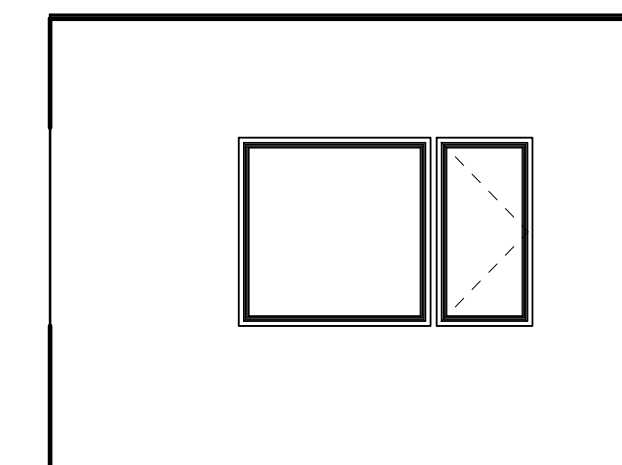
17 GUEST BEDROOM NORTH-EAST
1/4" = 1'-0"



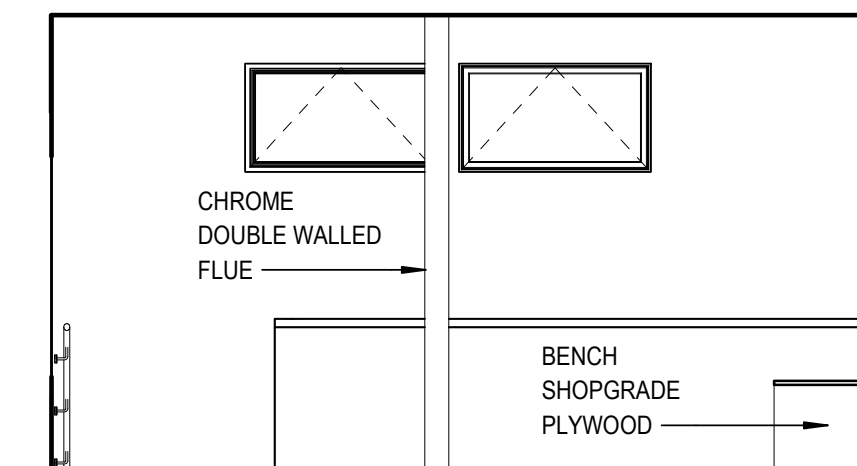
18 GUEST BEDROOM NORTH-WEST
1/4" = 1'-0"



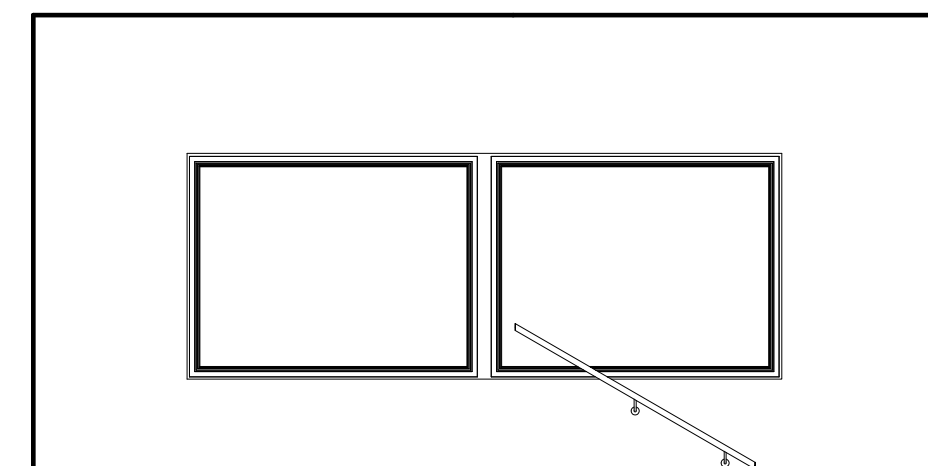
19 GUEST BEDROOM SOUTH-EAST
1/4" = 1'-0"



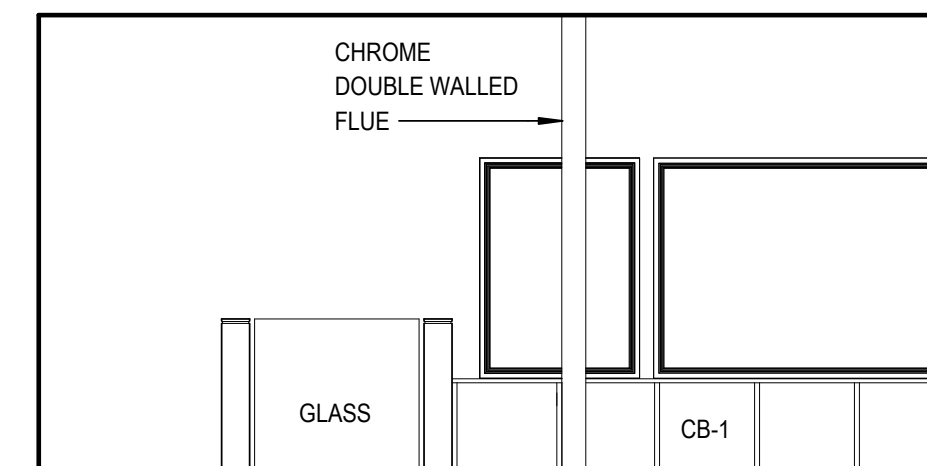
20 GUEST BEDROOM SOUTH-WEST
1/4" = 1'-0"



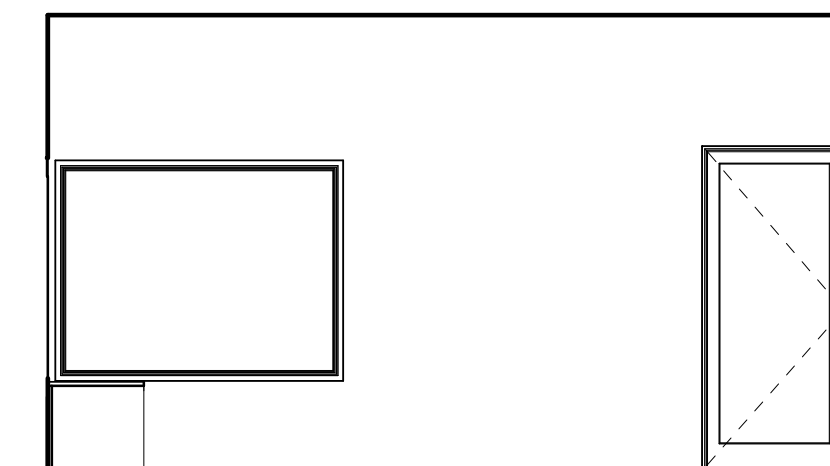
21 ROOF NORTH-EAST
1/4" = 1'-0"



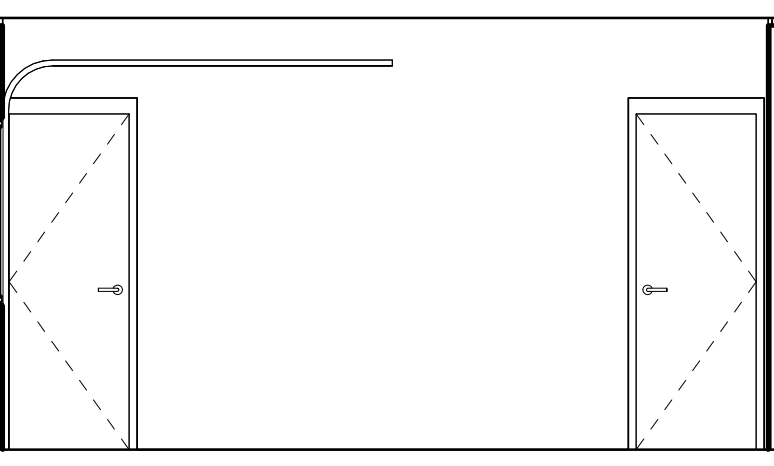
22 ROOF NORTH-WEST
1/4" = 1'-0"



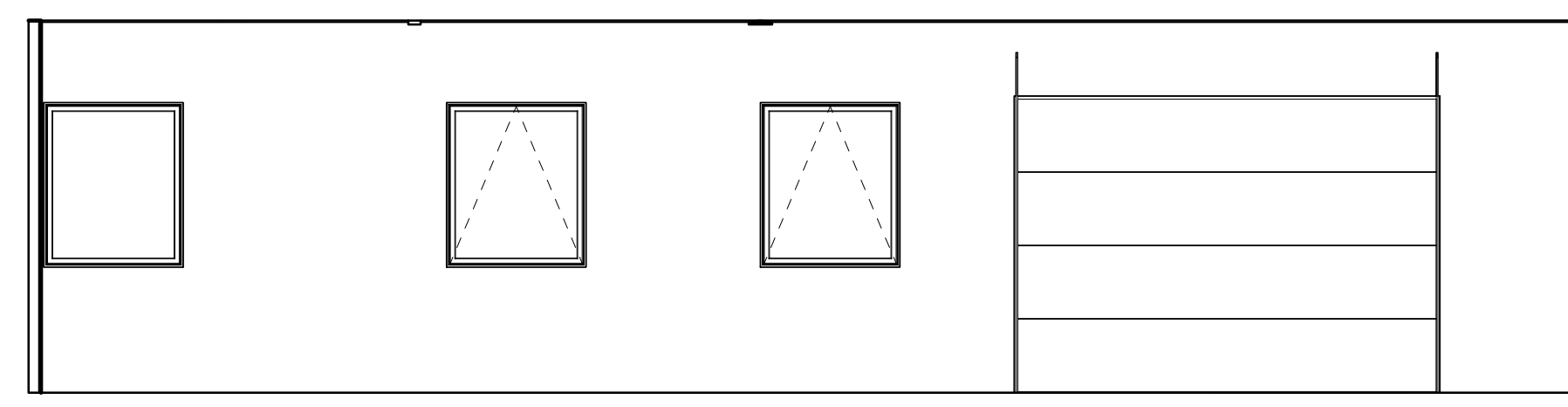
23 ROOF SOUTH-EAST
1/4" = 1'-0"



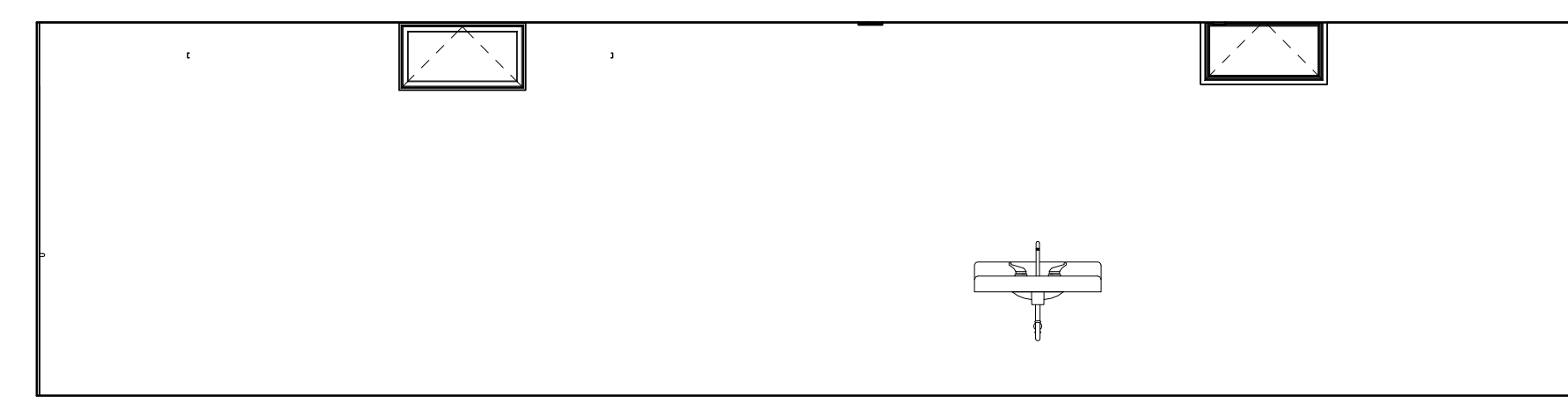
24 ROOF SOUTH-WEST
1/4" = 1'-0"



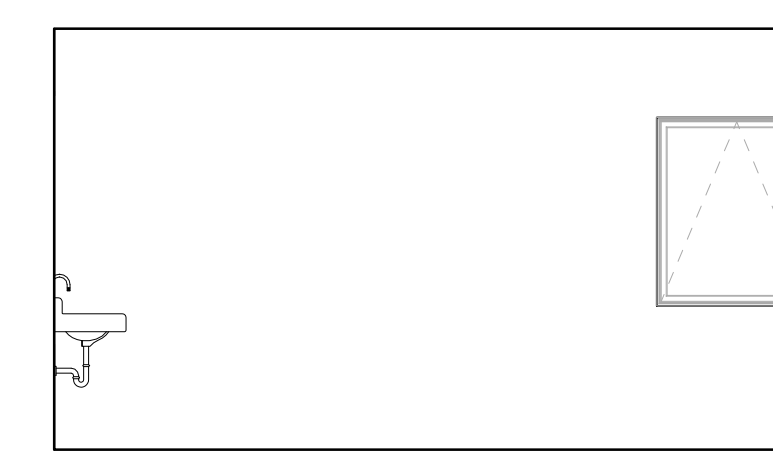
1 BASEMENT NORTH-EAST
1/4" = 1'-0"



2 BASEMENT NORTH-WEST
1/4" = 1'-0"



3 BASEMENT SOUTH-EAST
1/4" = 1'-0"



4 BASEMENT SOUTH-WEST
1/4" = 1'-0"

HUDSON HOUSE

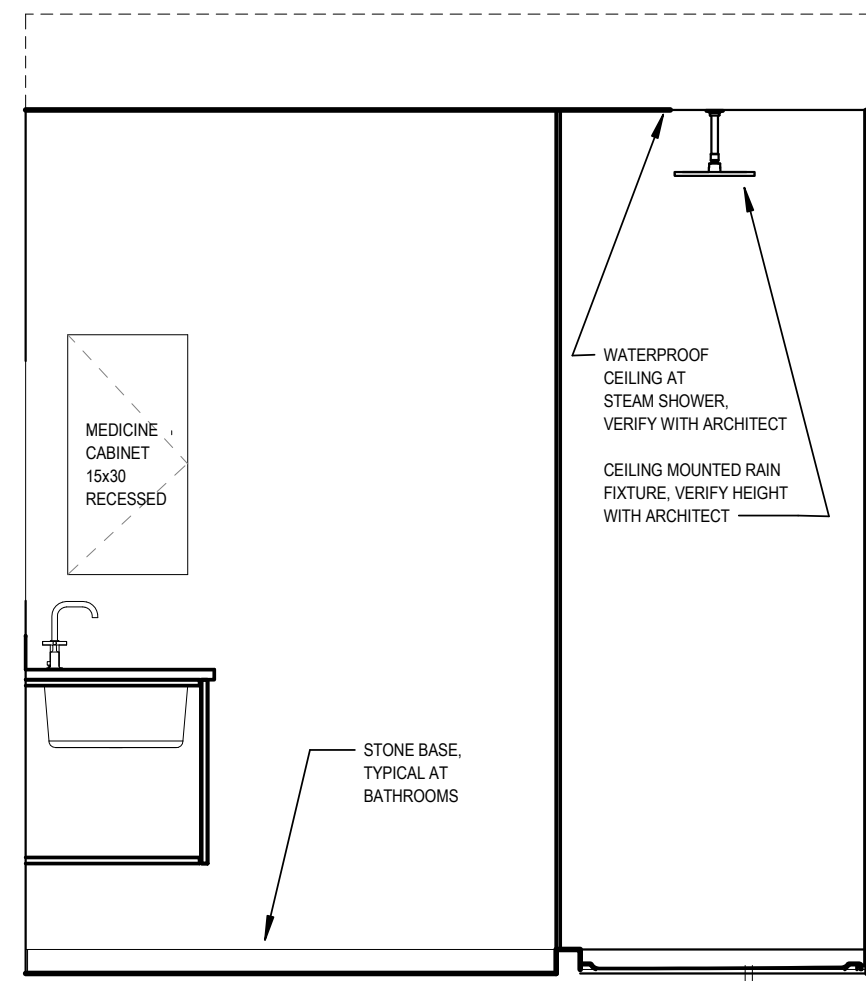
INTERIOR ELEVATIONS

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Date 03.02.2018
Scale 1/4" = 1'-0"

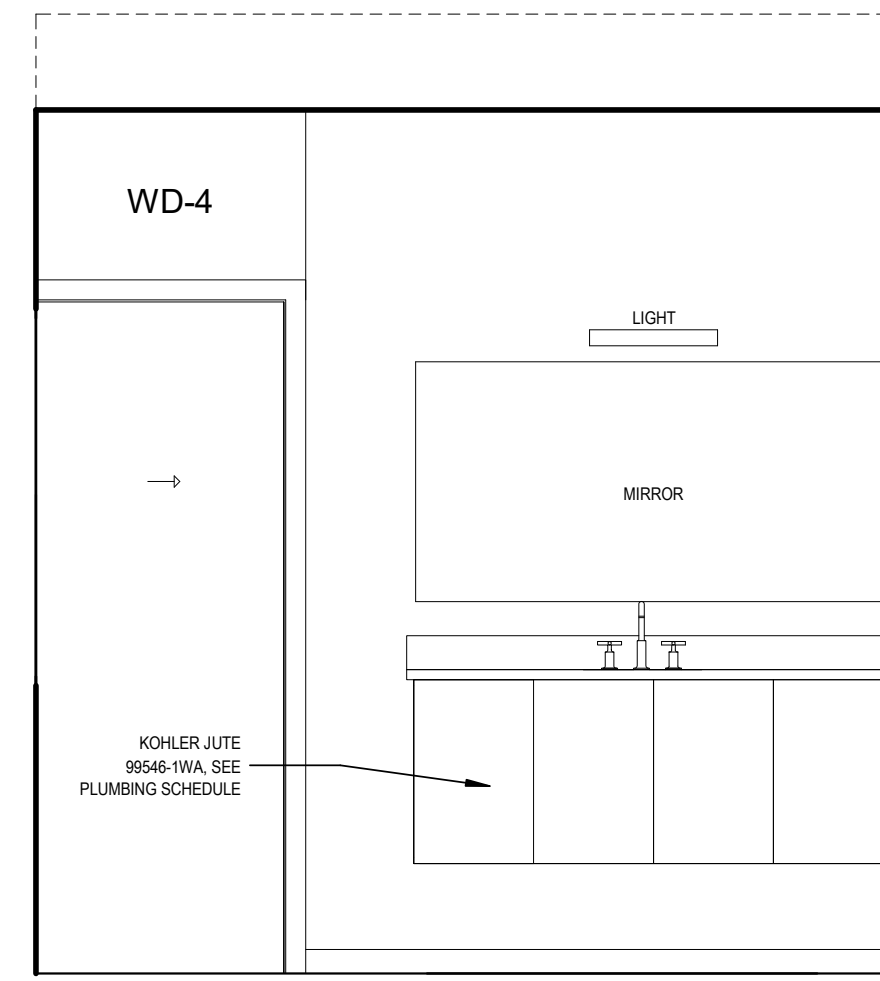
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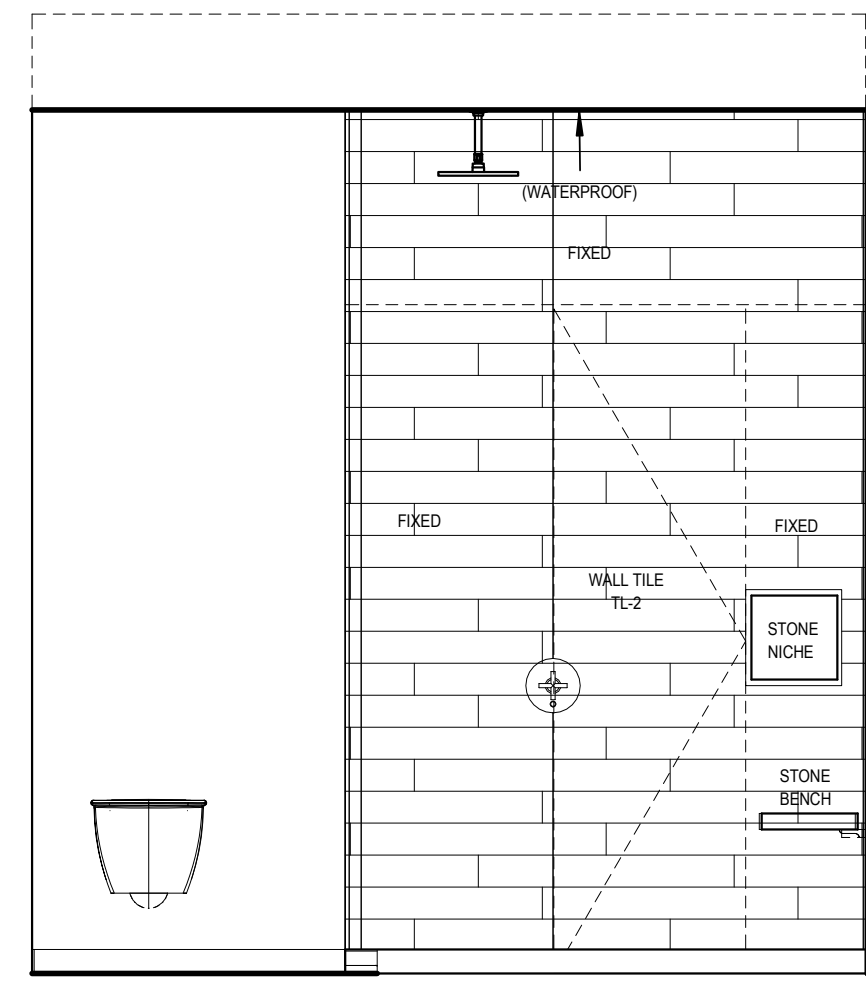
A5.01



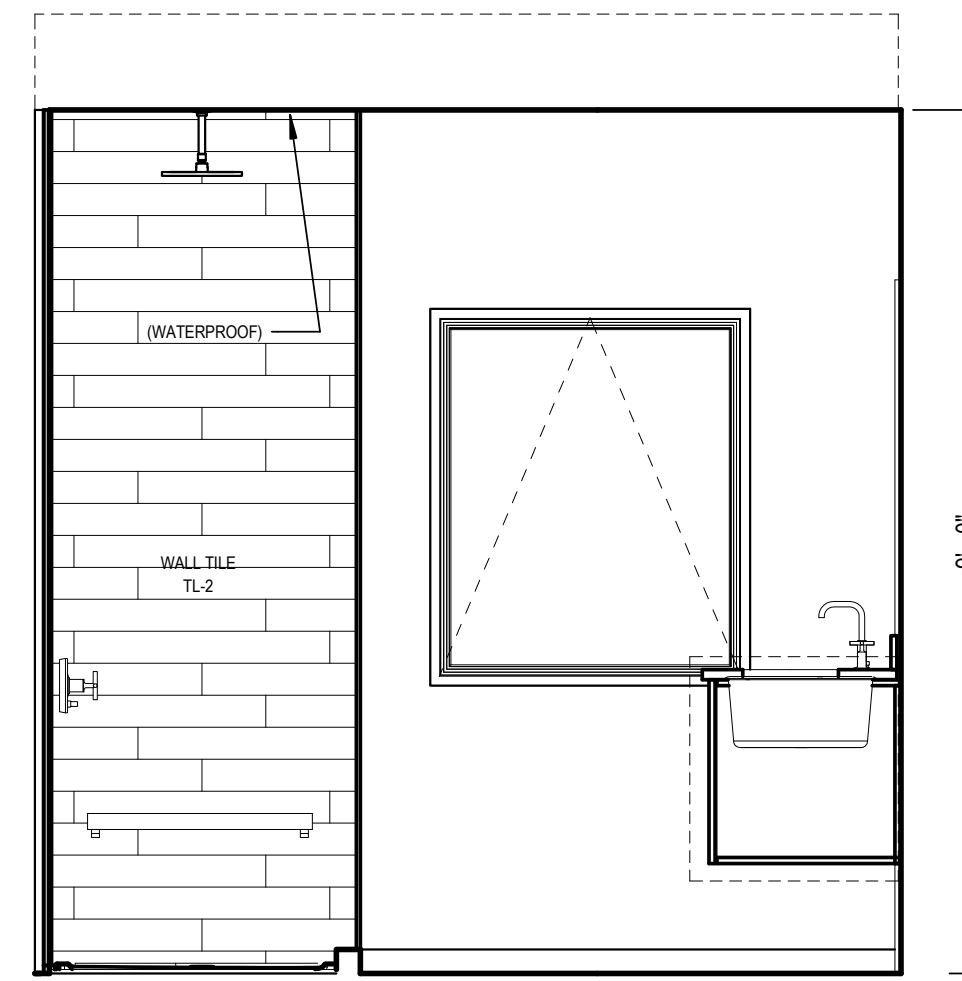
3 MASTER BATH NORTH-EAST
1/2" = 1'-0"



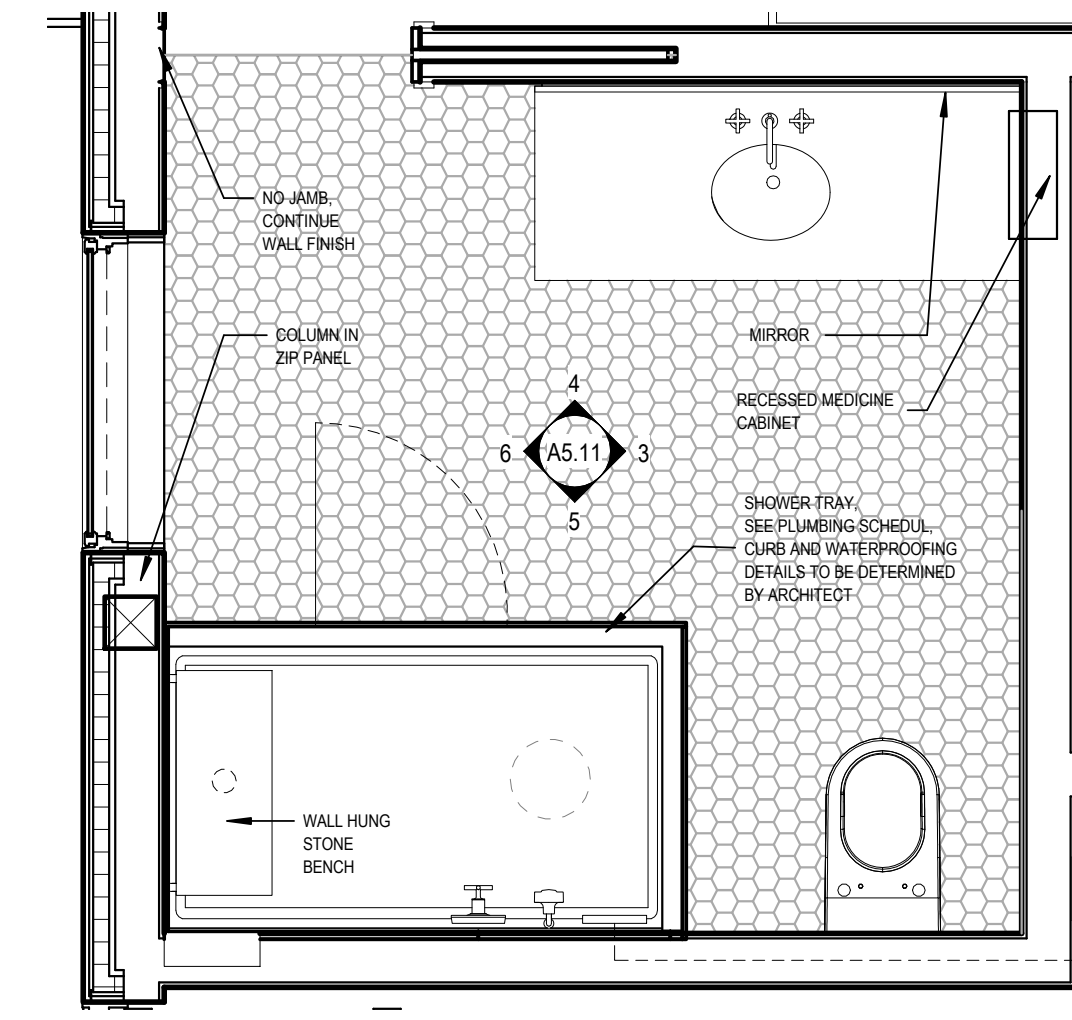
4 MASTER BATH NORTH-WEST
1/2" = 1'-0"



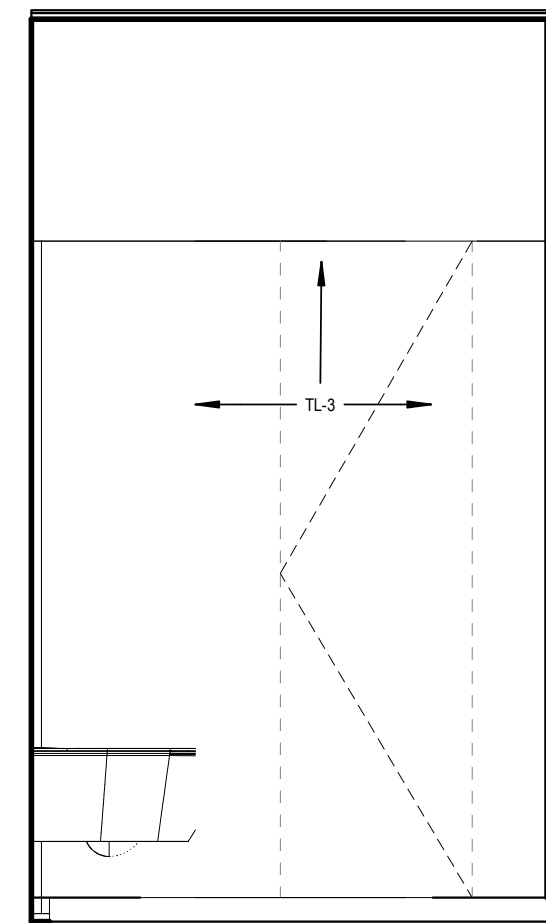
5 MASTER BATH SOUTH-EAST
1/2" = 1'-0"



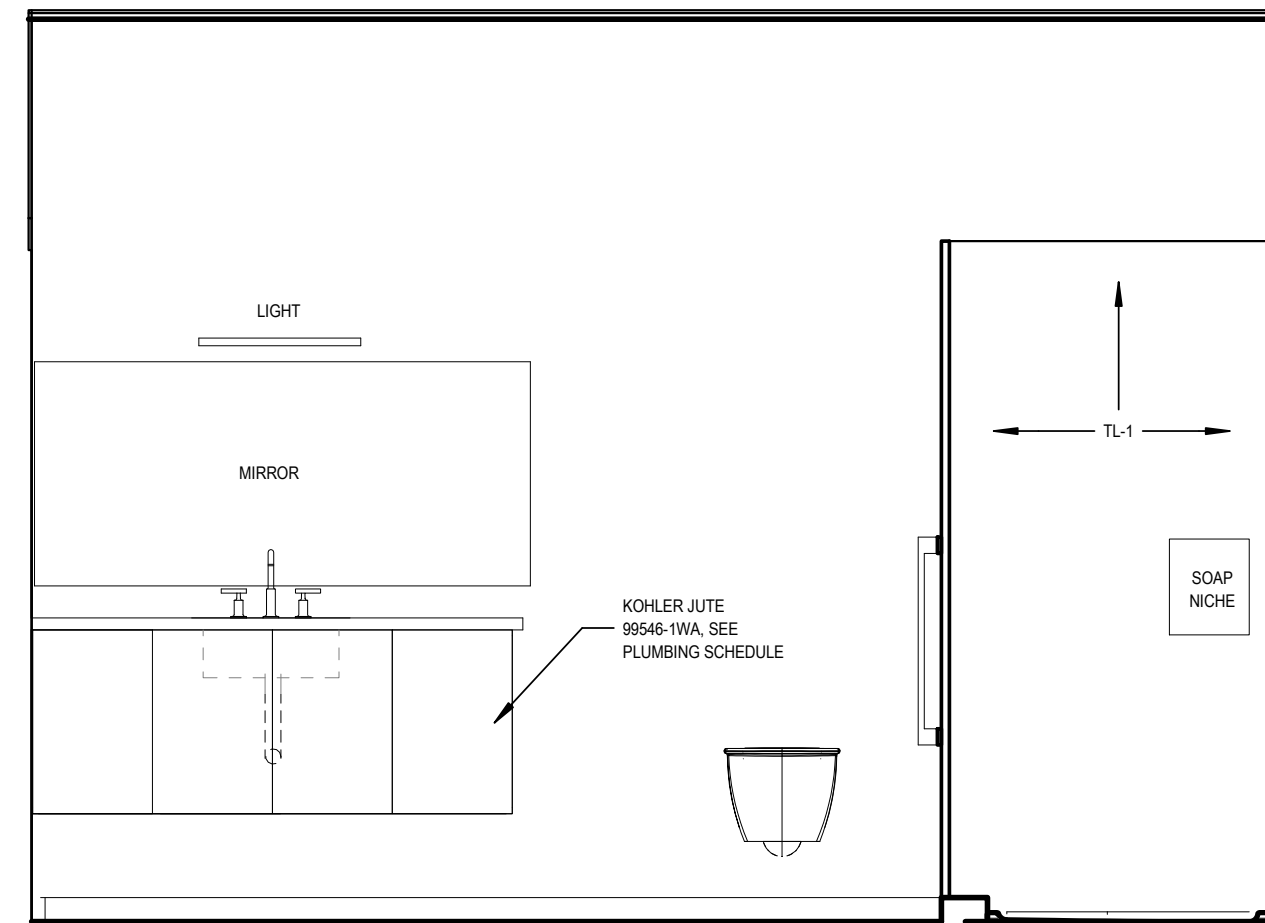
6 MASTER BATH SOUTH-WEST
1/2" = 1'-0"



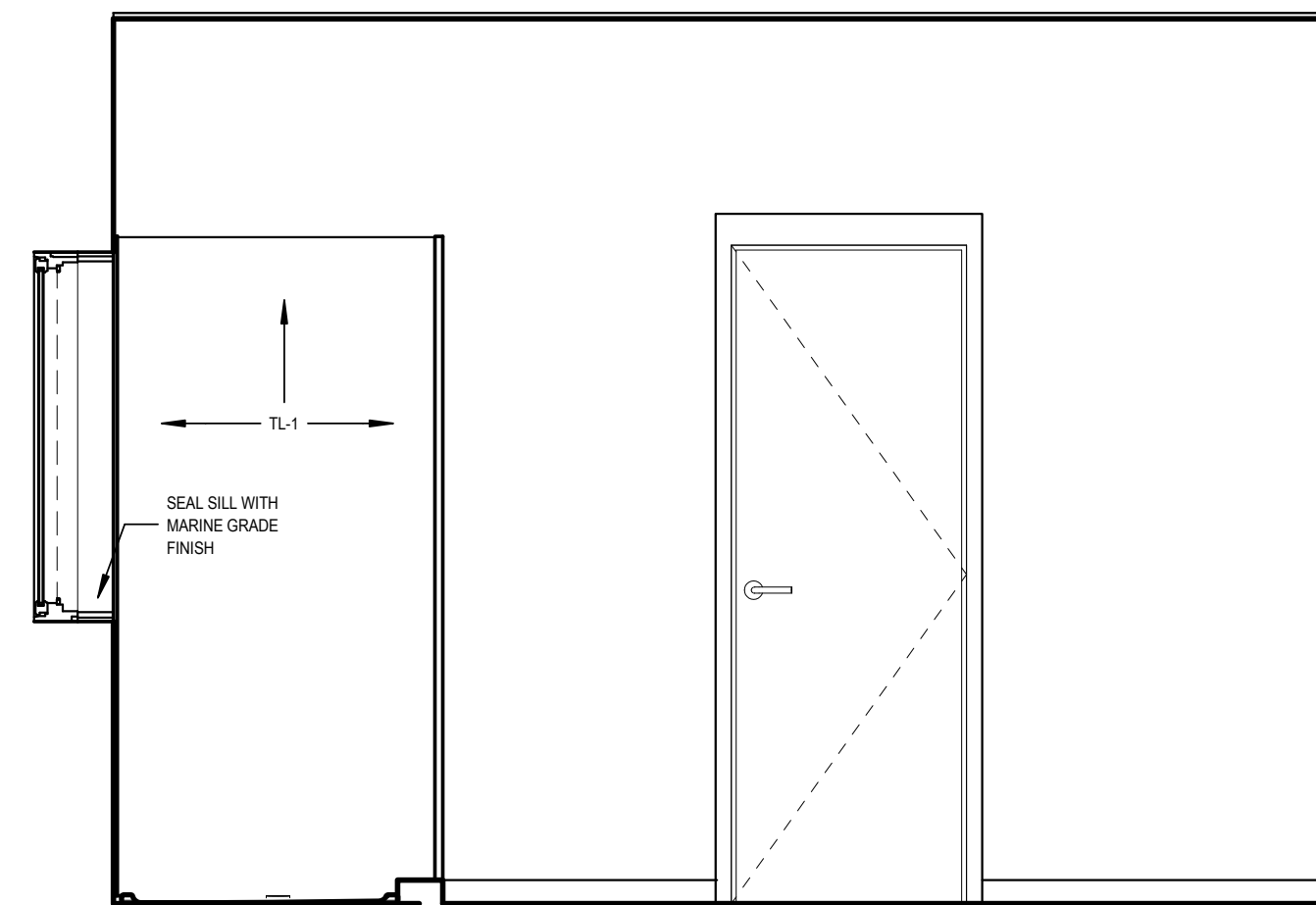
1 ENLARGED - F1 MASTER BATH
1/2" = 1'-0"



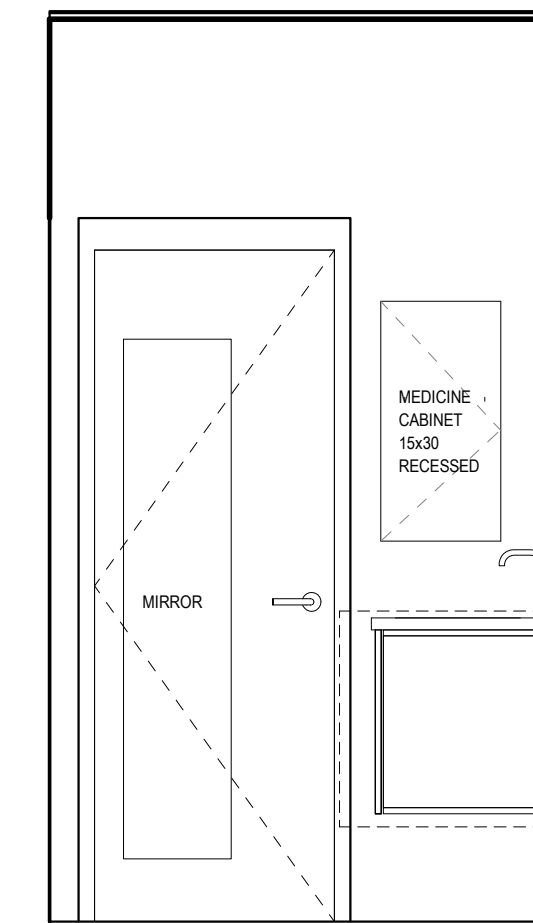
7 GUEST BATH NORTH-EAST
1/2" = 1'-0"



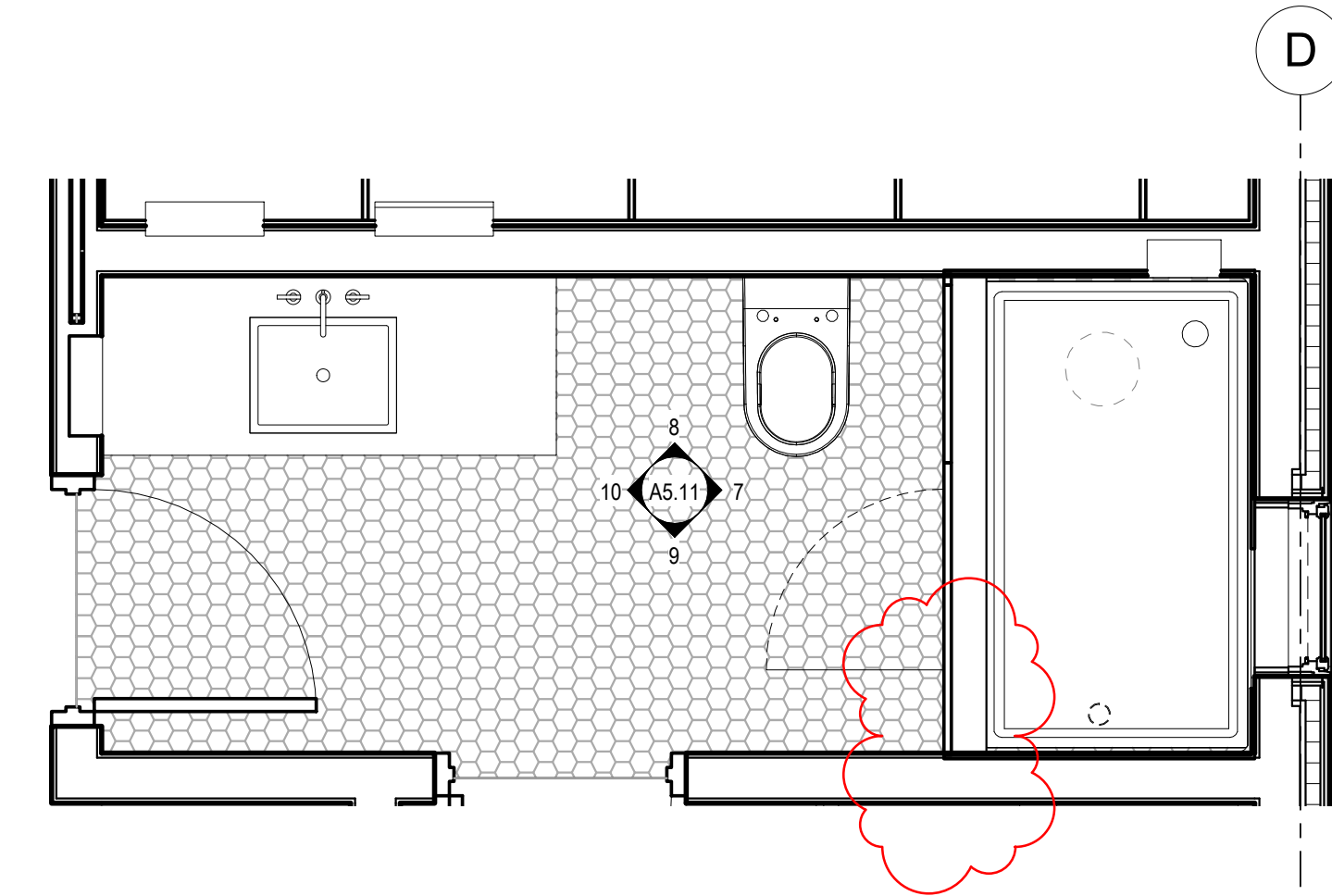
8 GUEST BATH NORTH-WEST
1/2" = 1'-0"



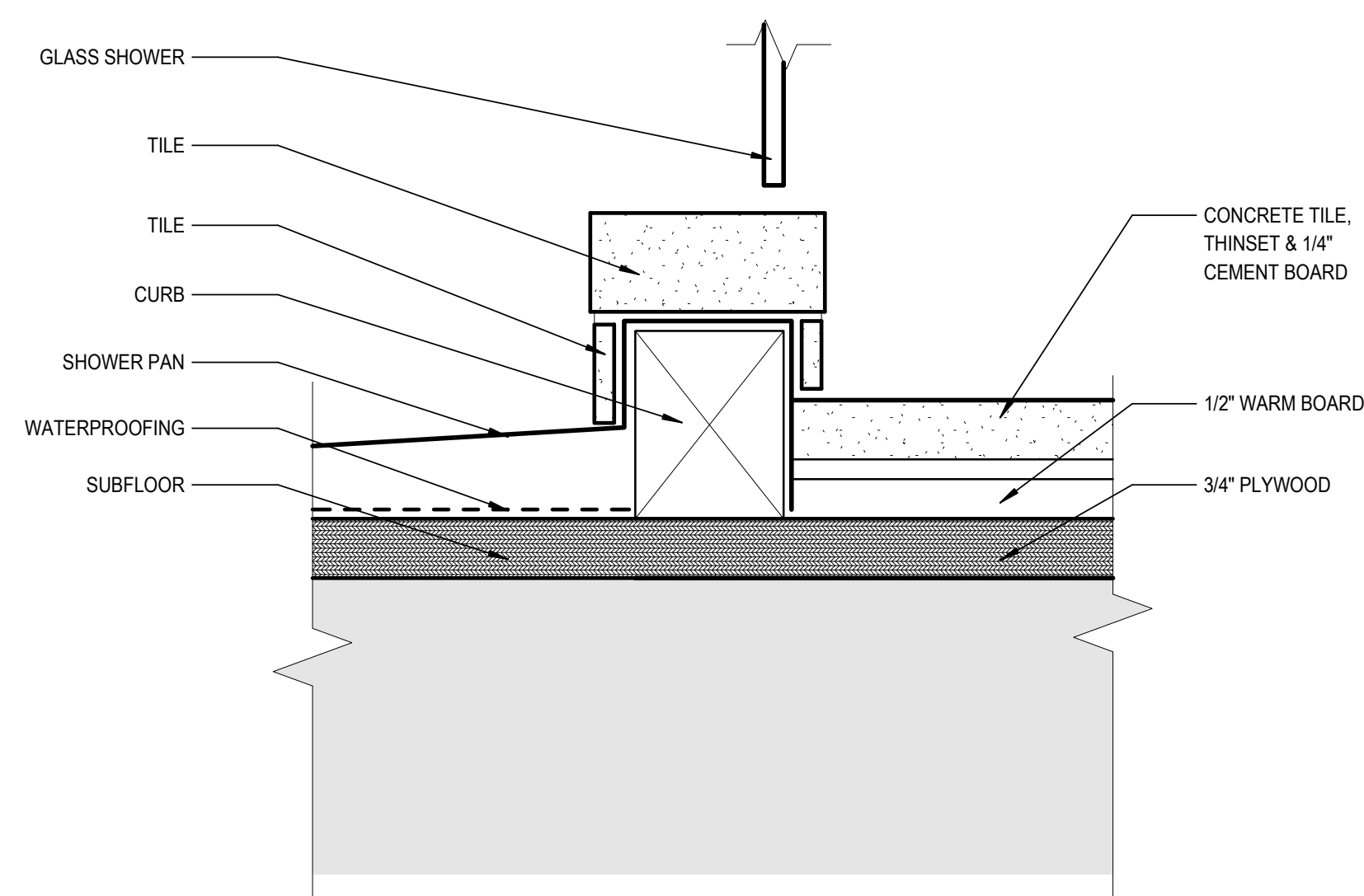
9 GUEST BATH SOUTH-EAST
1/2" = 1'-0"



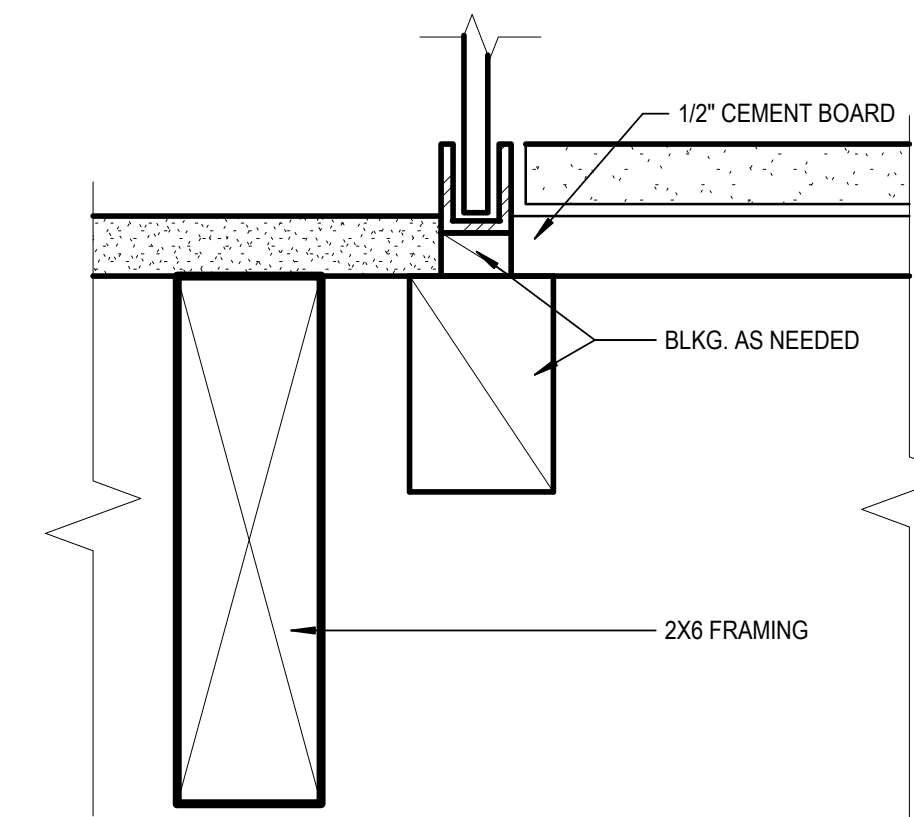
10 GUEST BATH SOUTH-WEST
1/2" = 1'-0"



2 GUEST BATH
1/2" = 1'-0"



12 SHOWER CURB
6" = 1'-0"



11 SHOWER JAMB
6" = 1'-0"

HUDSON HOUSE

**ENLARGED
PLANS – BATH**

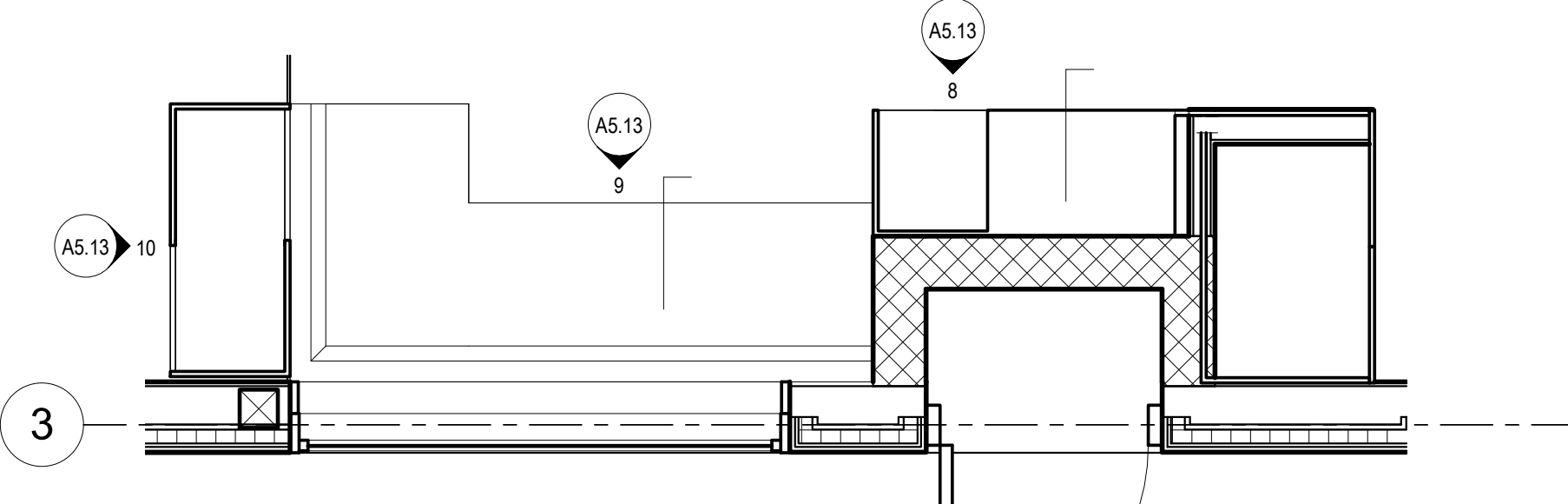
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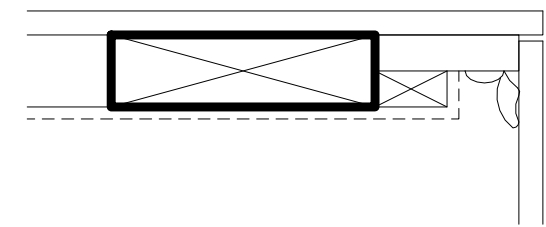
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A5.11

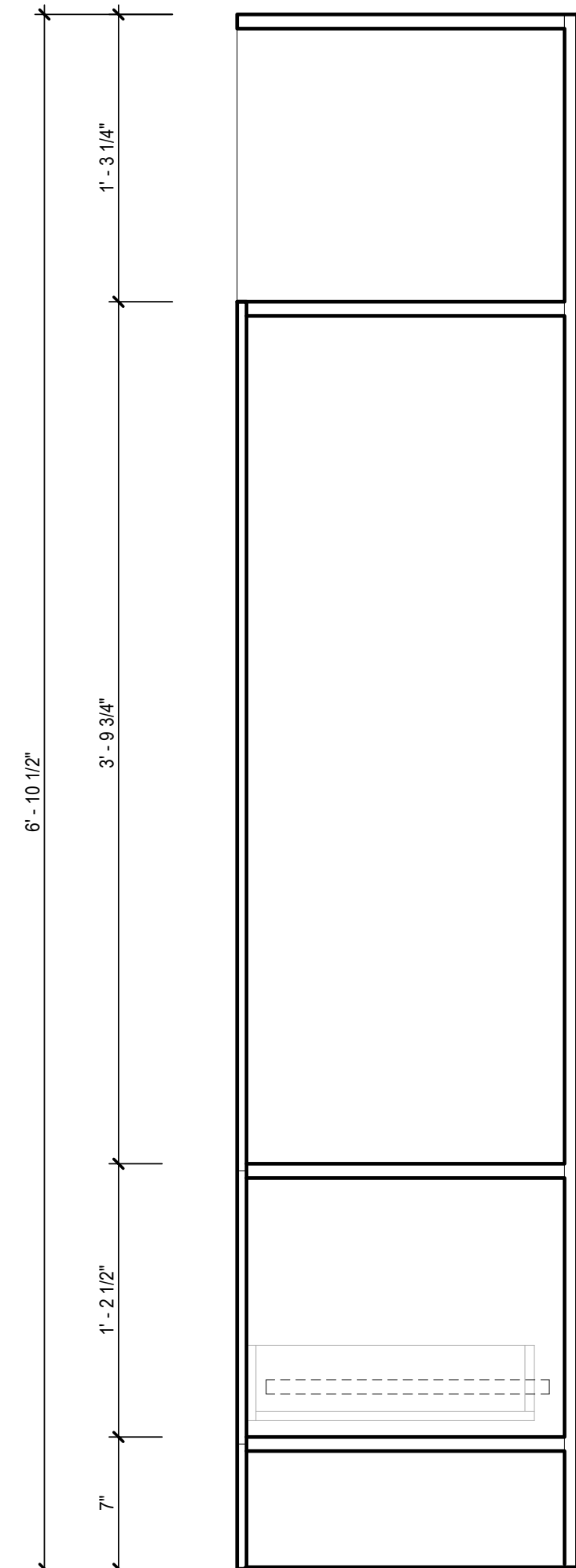
BREAKFAST NOOK
FOR REFERENCE ONLY



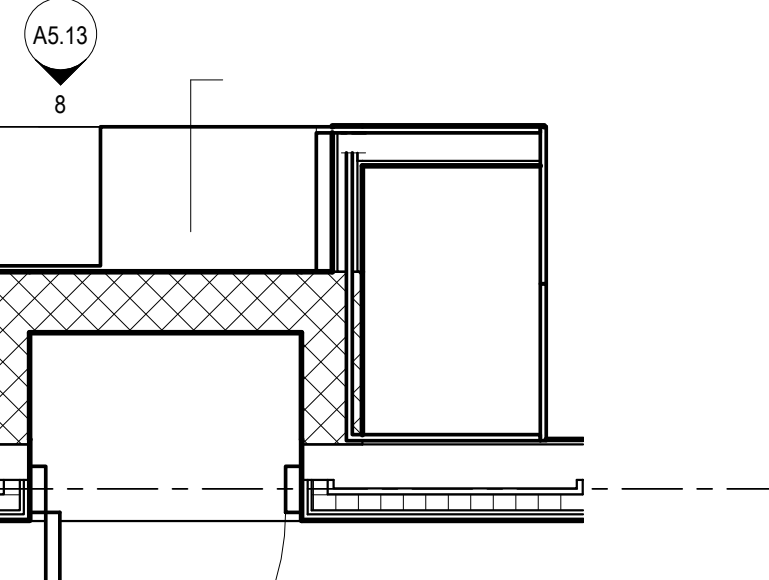
⑬ ENLARGED - F1 BREAKFAST NOOK
1/2" = 1'-0"



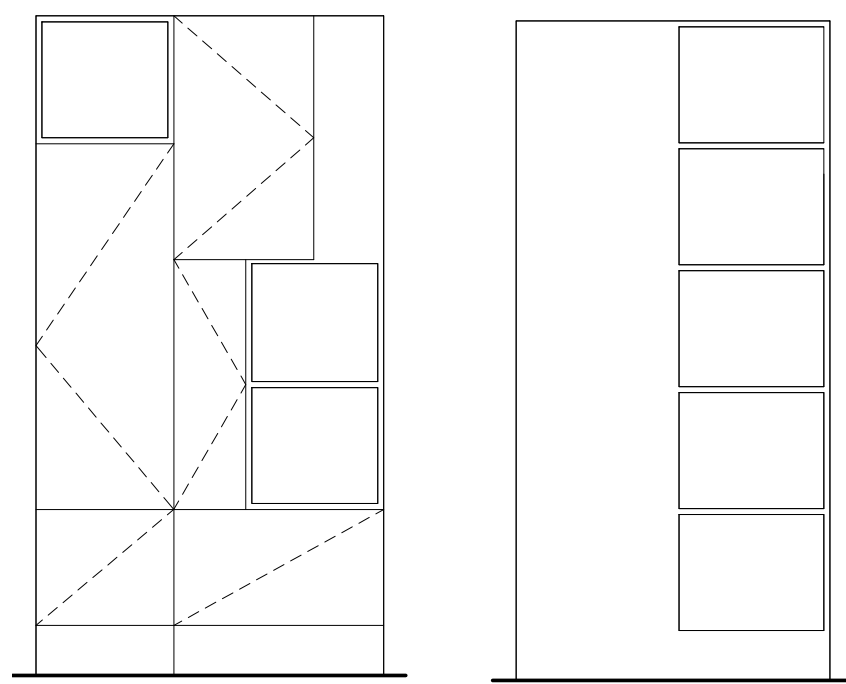
⑬ ENTRY MILLWORK
3" = 1'-0"



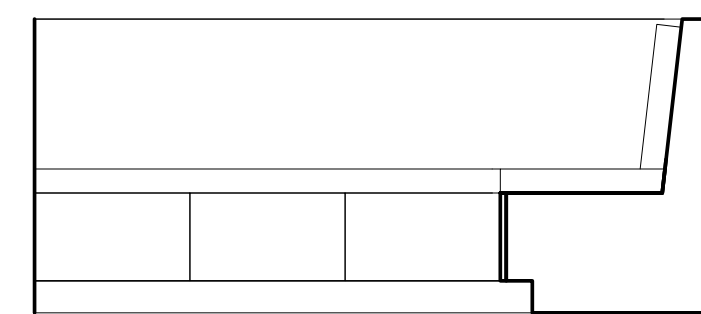
⑬ ENTRY MILLWORK
1 1/2" = 1'-0"



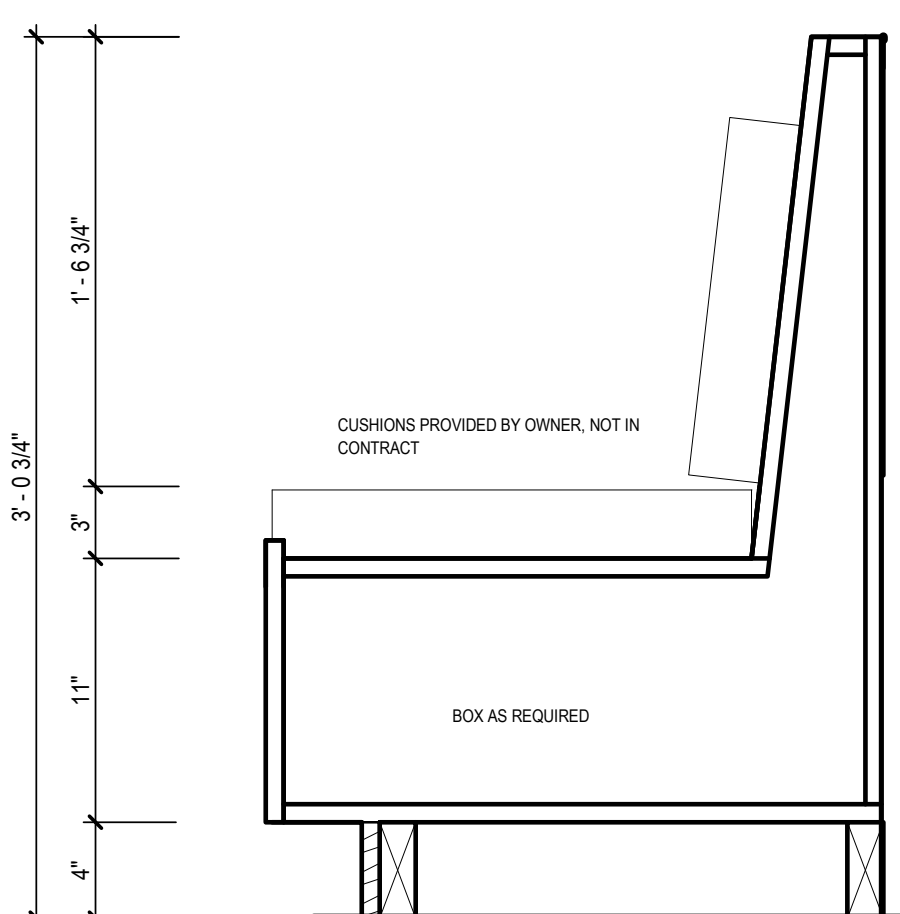
⑧ ENTRY MILLWORK
1/2" = 1'-0"



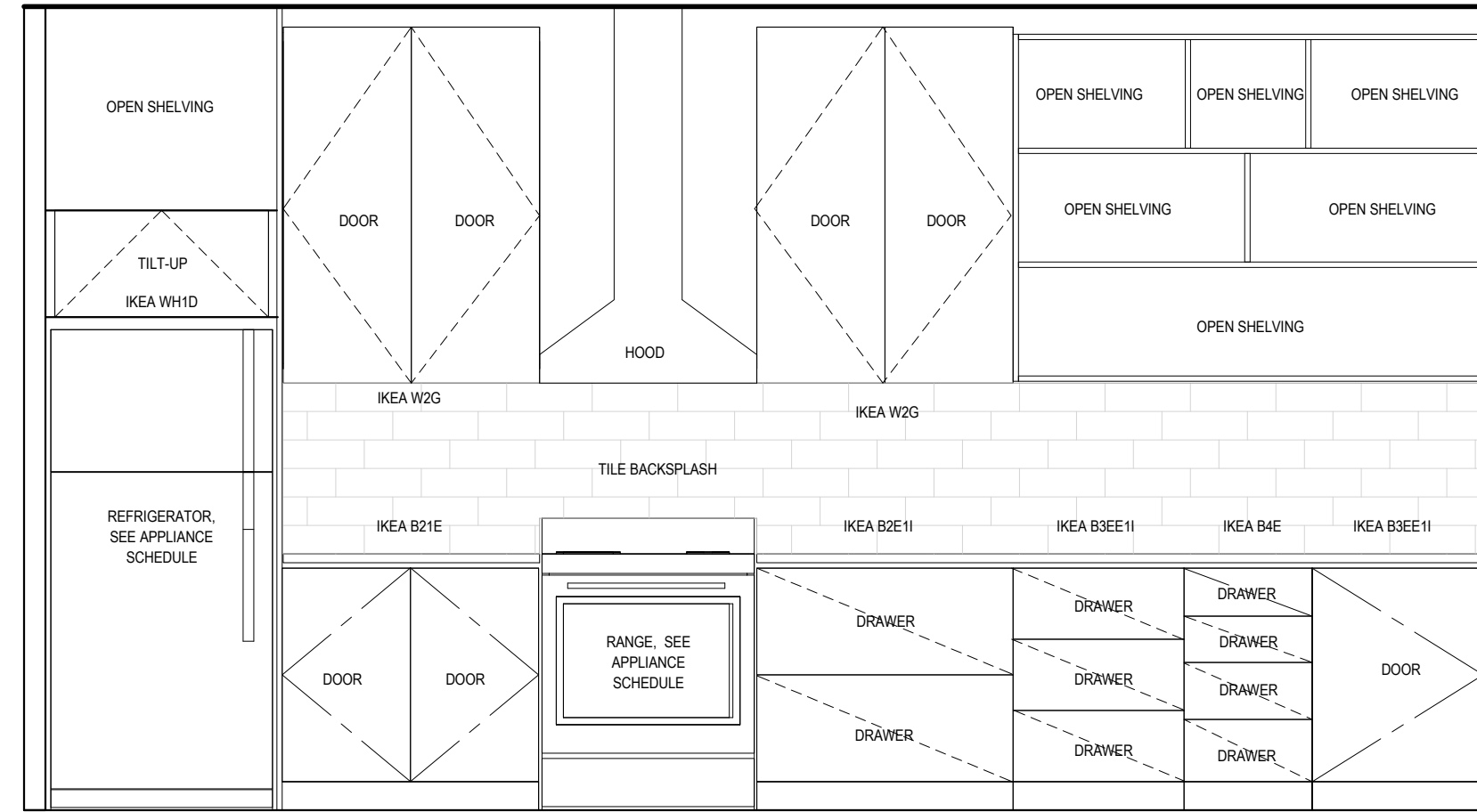
⑩ BREAKFAST NOOK STORAGE
1/2" = 1'-0"



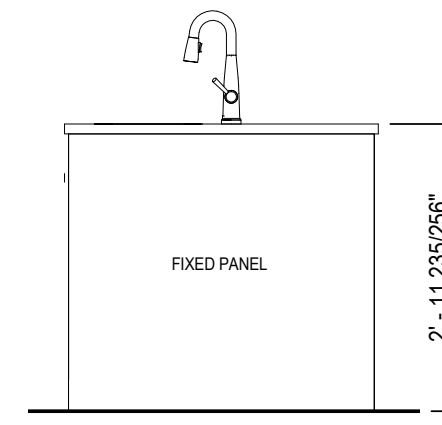
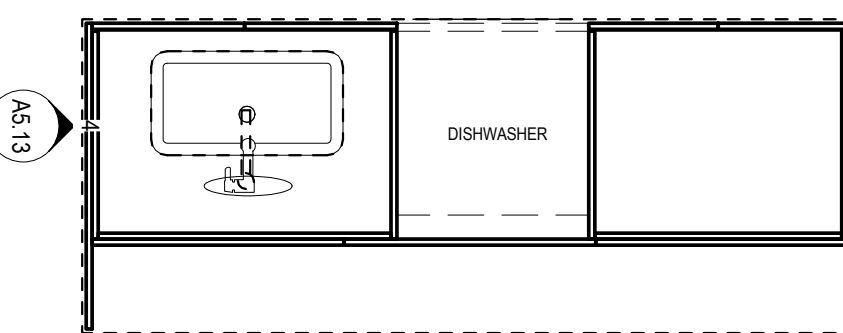
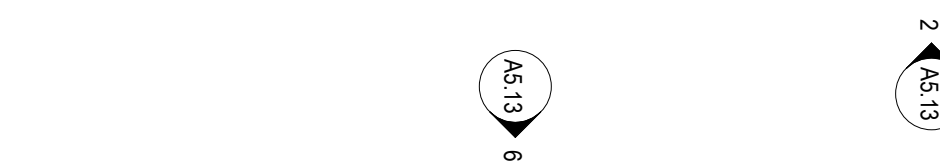
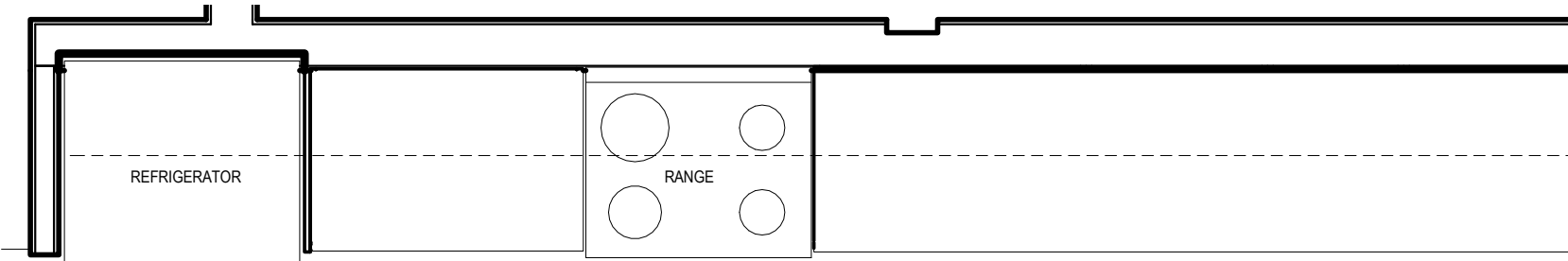
⑨ BREAKFAST NOOK BENCH
1/2" = 1'-0"



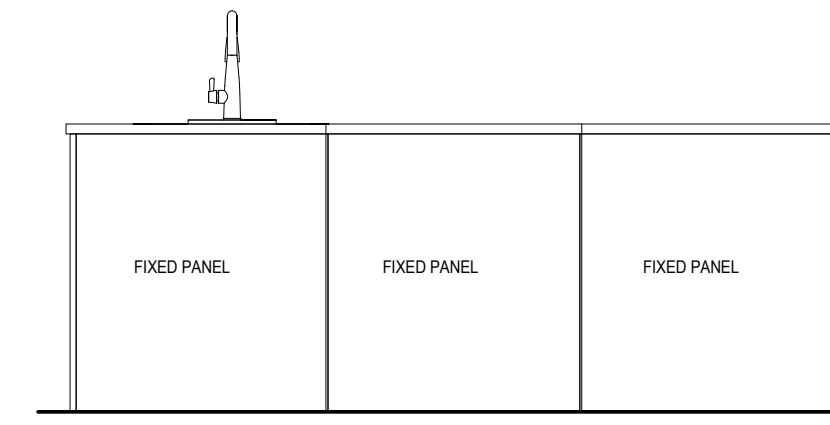
⑫ BREAKFAST NOOK BENCH
1 1/2" = 1'-0"



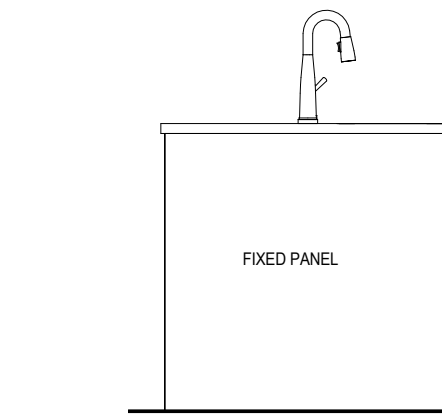
② KITCHEN NORTH-WEST
1/2" = 1'-0"



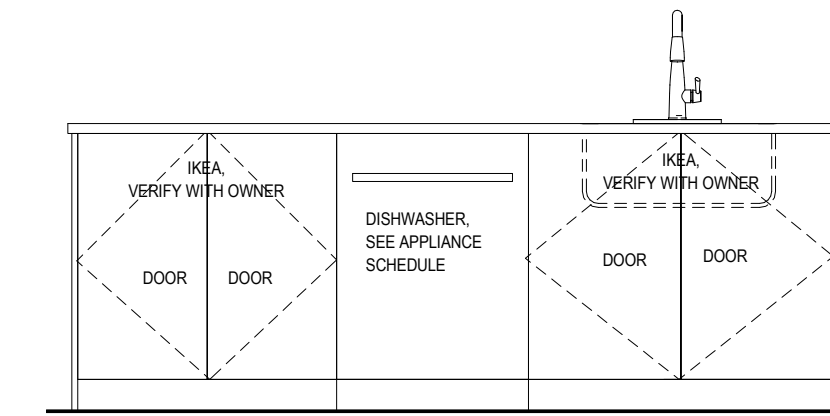
④ KITCHEN ISLAND NE
1/2" = 1'-0"



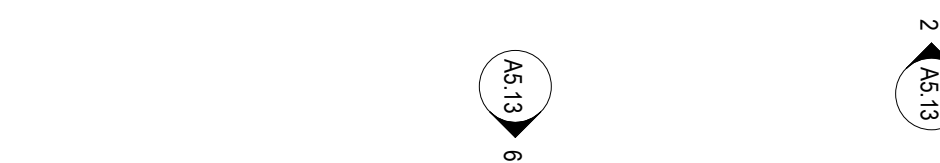
⑤ KITCHEN ISLAND NW
1/2" = 1'-0"



⑦ KITCHEN ISLAND SW
1/2" = 1'-0"



⑥ KITCHEN ISLAND SE
1/2" = 1'-0"



IKEA CABINETS,
SEE ELEVATIONS FOR
SPECS

TILE BACKSPLASH,
SEE ELEVATIONS

1 1/4" THICK STONE
COUNTER ON
PLYWOOD SUBSTRATE,
OR APPROVED
ALTERNATE.

COUNTER EDGE, 1/2"
OVERHANG, ANGLE
OUT FOR DRIP EDGE

IKEA CABINETS,
SEE ELEVATIONS
FOR SPECS

HARDWOOD BASE

③ MILLWORK - KITCHEN SECTION 3
1 1/2" = 1'-0"

HUDSON HOUSE

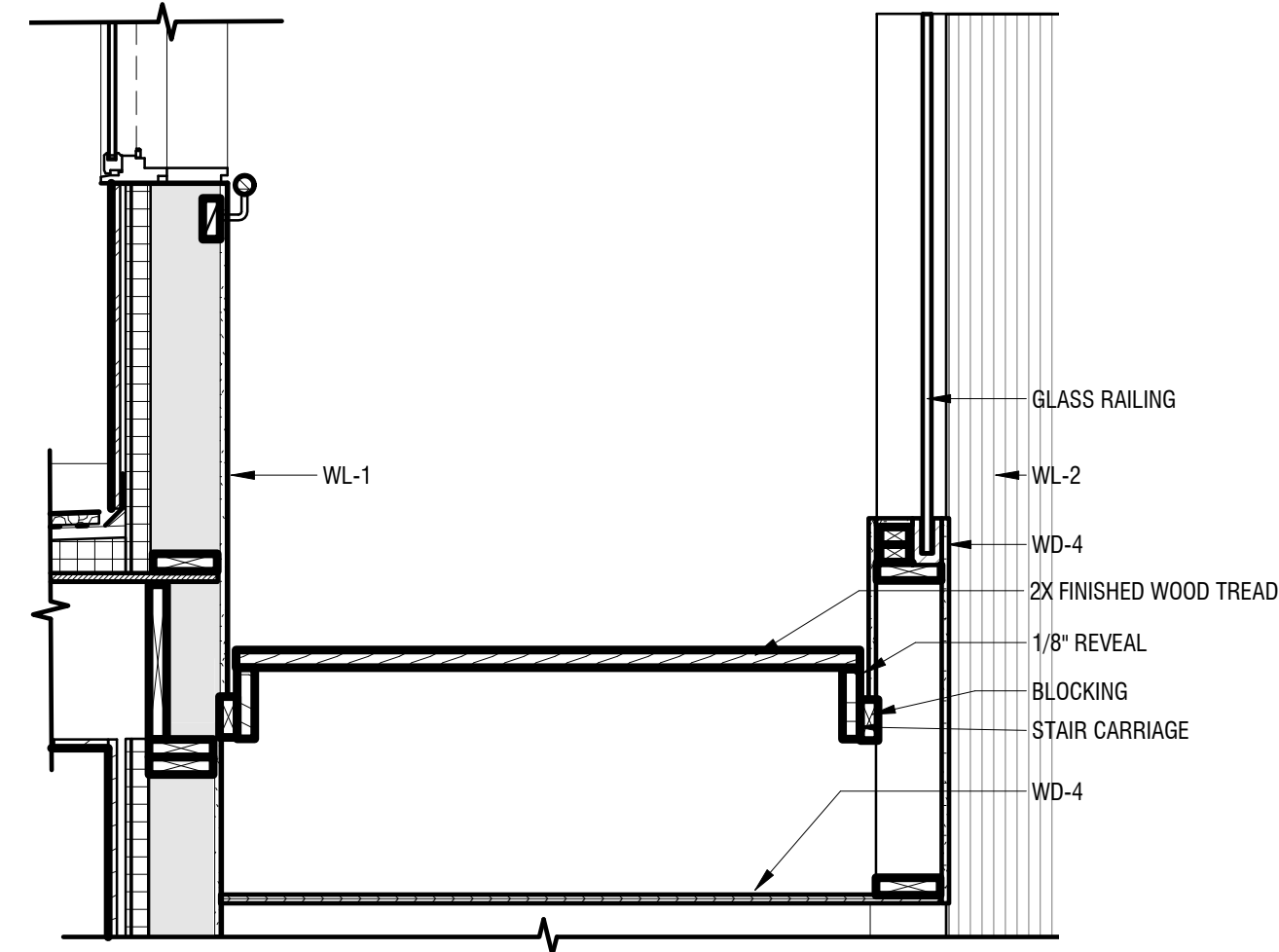
**ENLARGED
PLANS –
KITCHEN**

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Date 03.02.2018
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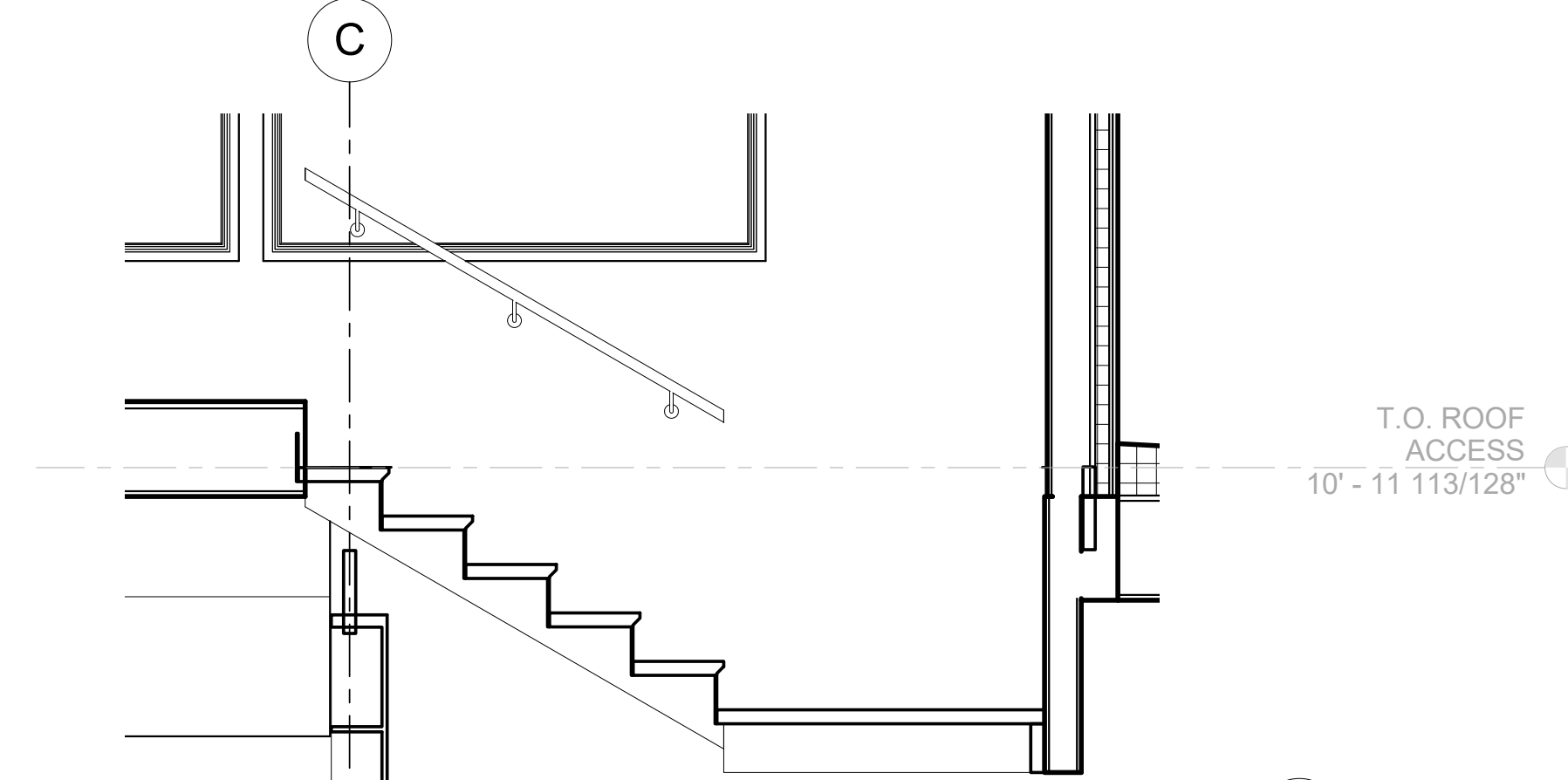
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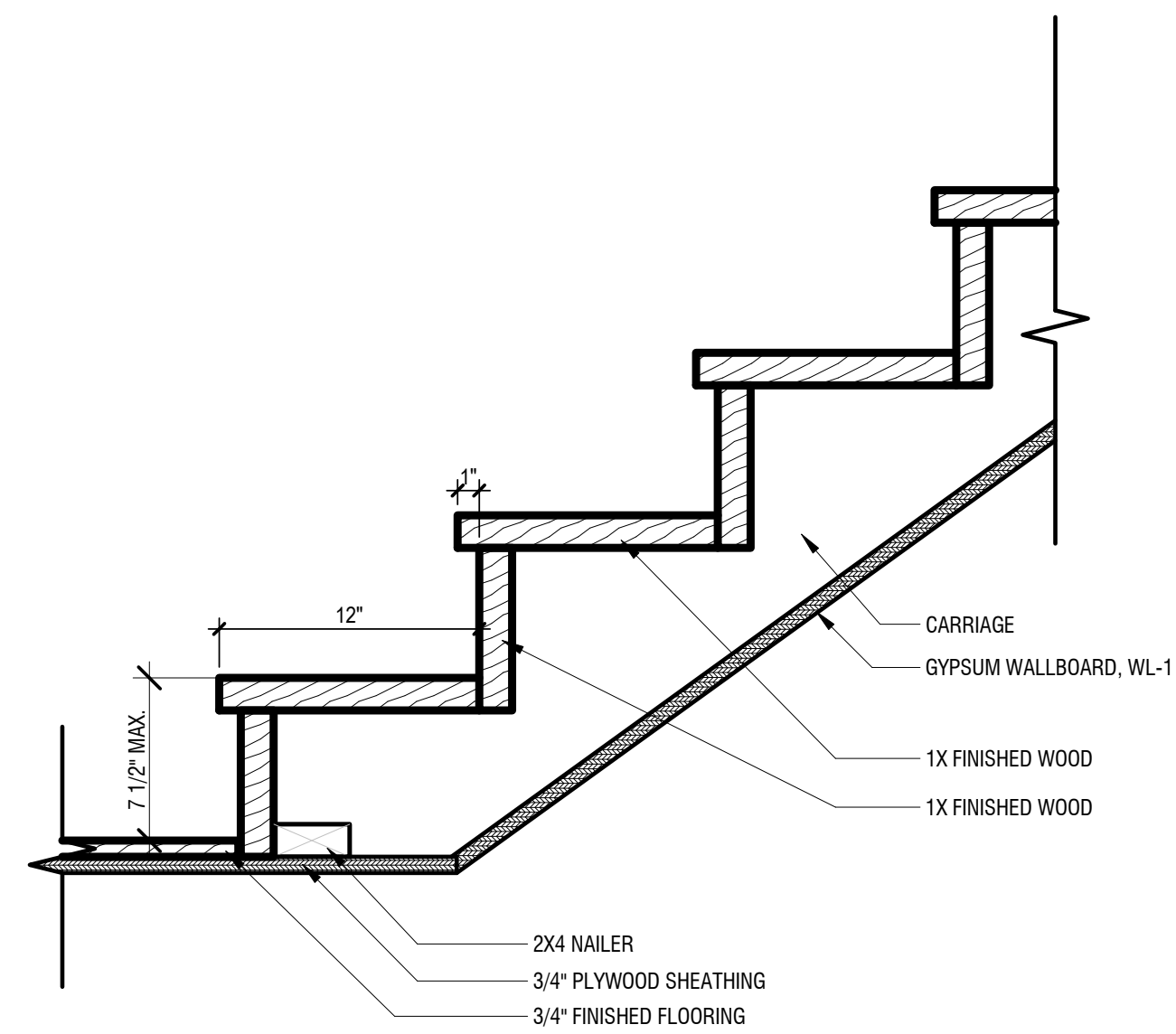
A5.13



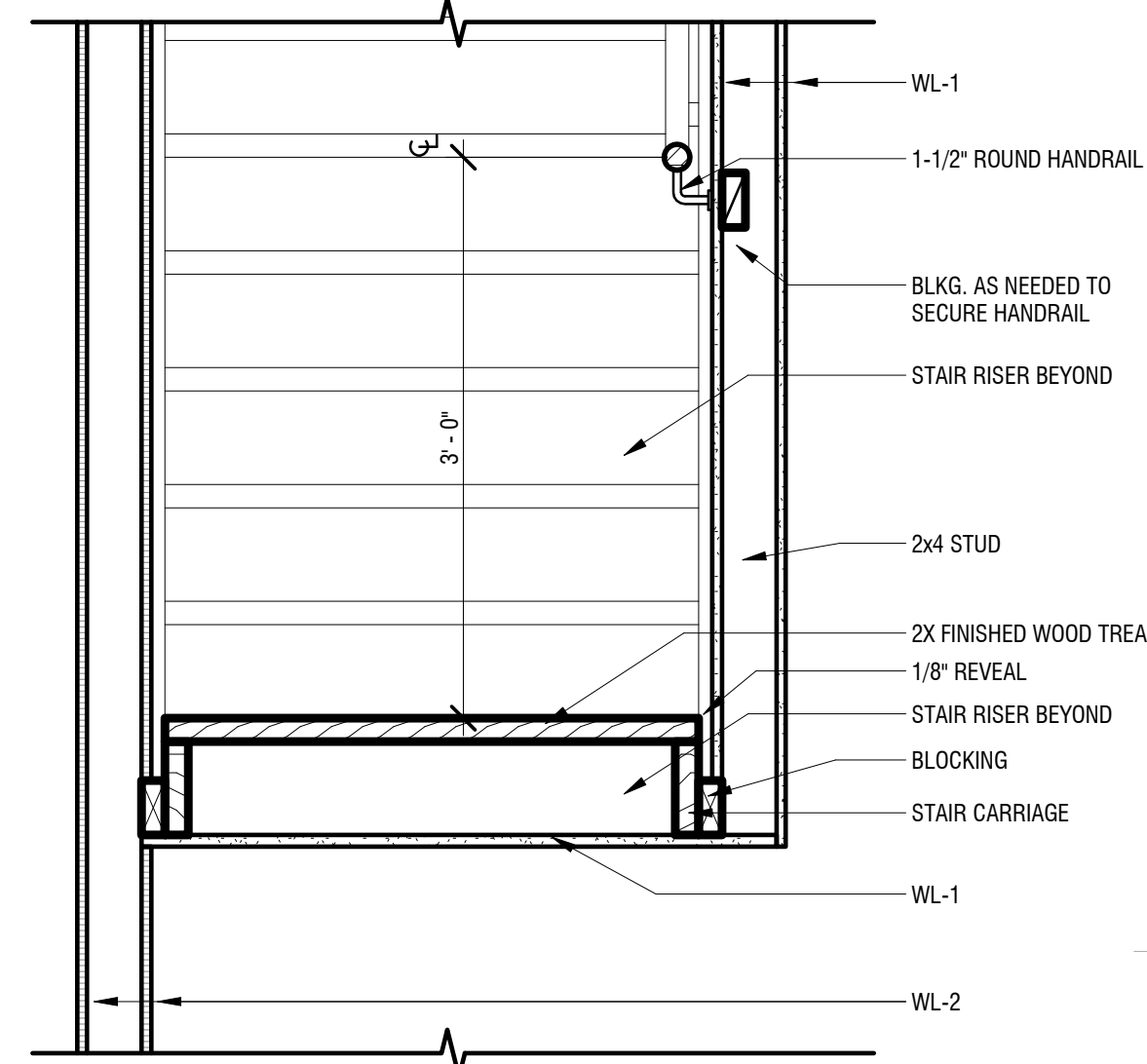
① Stair Section at Upper Landing
3/4" = 1'-0"



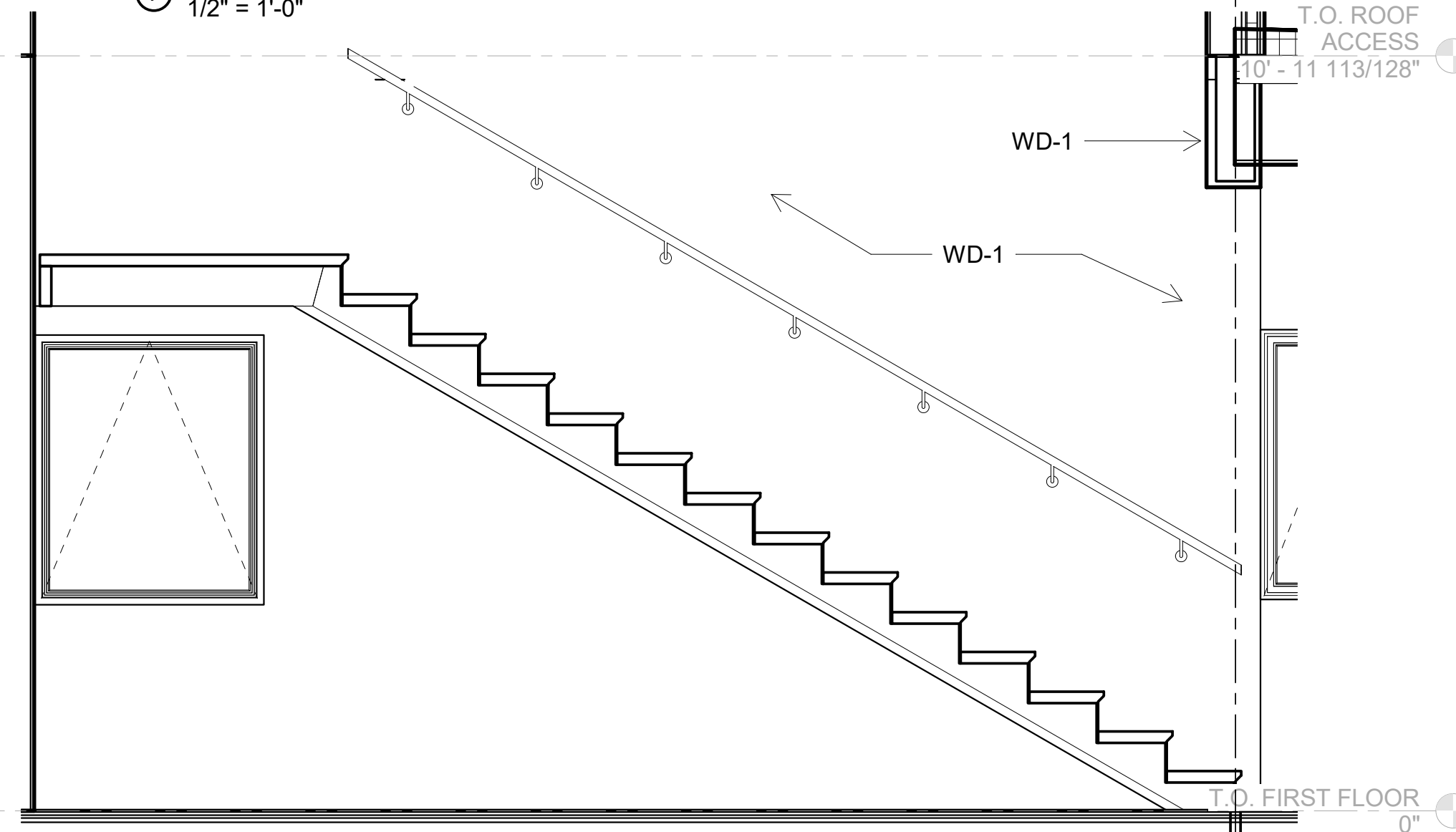
⑦ Roof Access Stair Landing
1/2" = 1'-0"



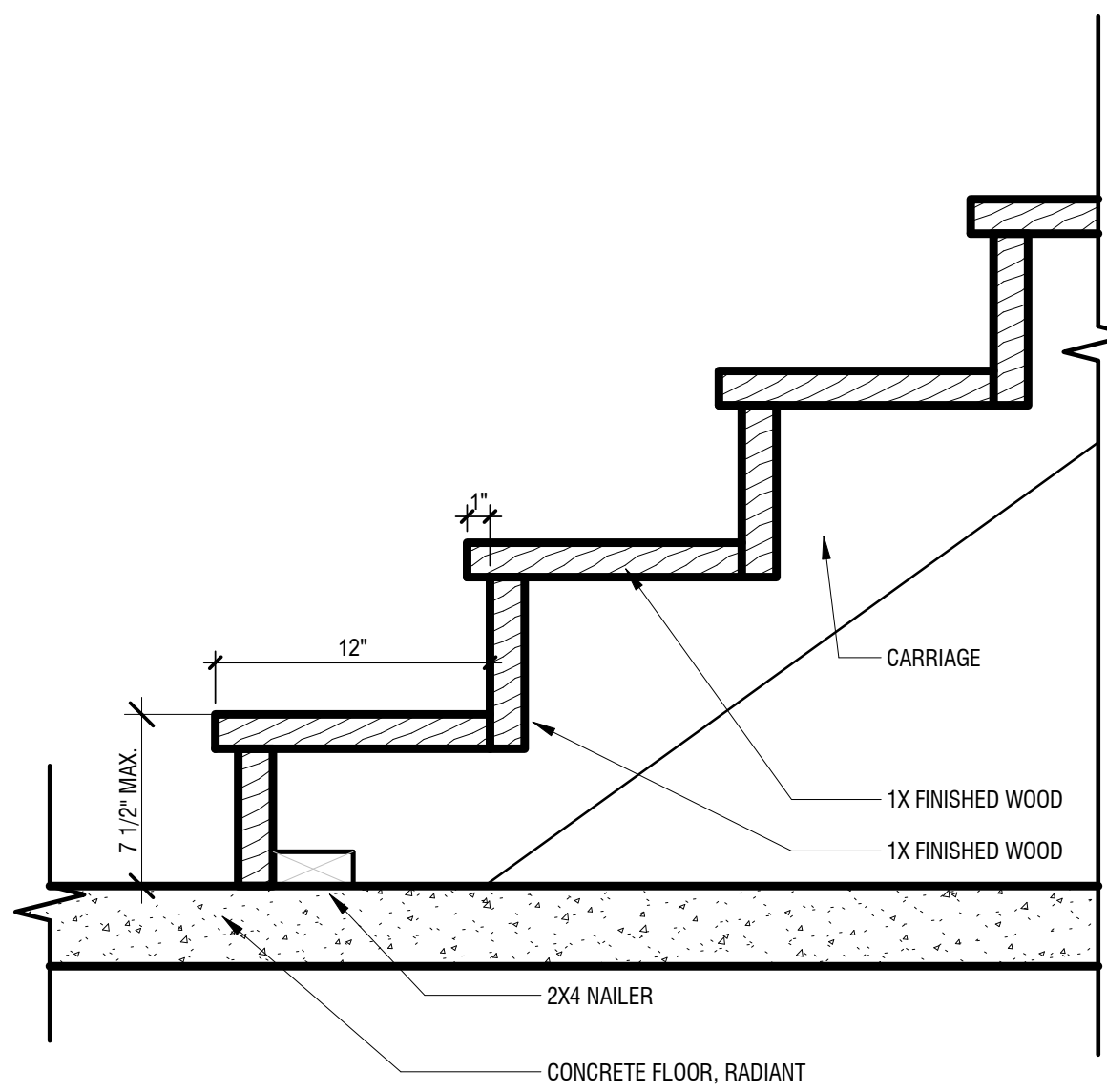
② Stair to Roof Access Detail
1 1/2" = 1'-0"



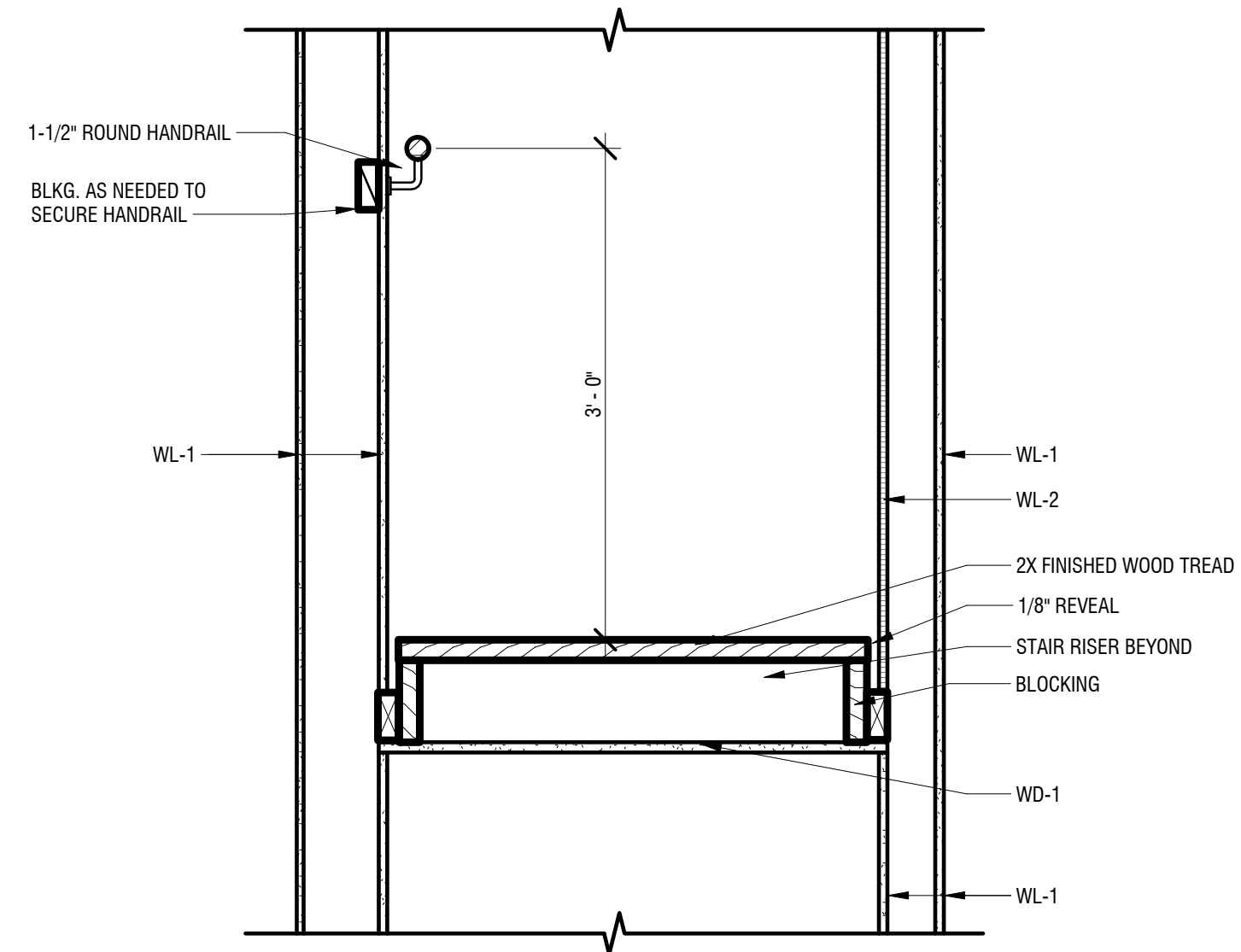
④ Detail @ Stringer/Handrail Studio
1" = 1'-0"



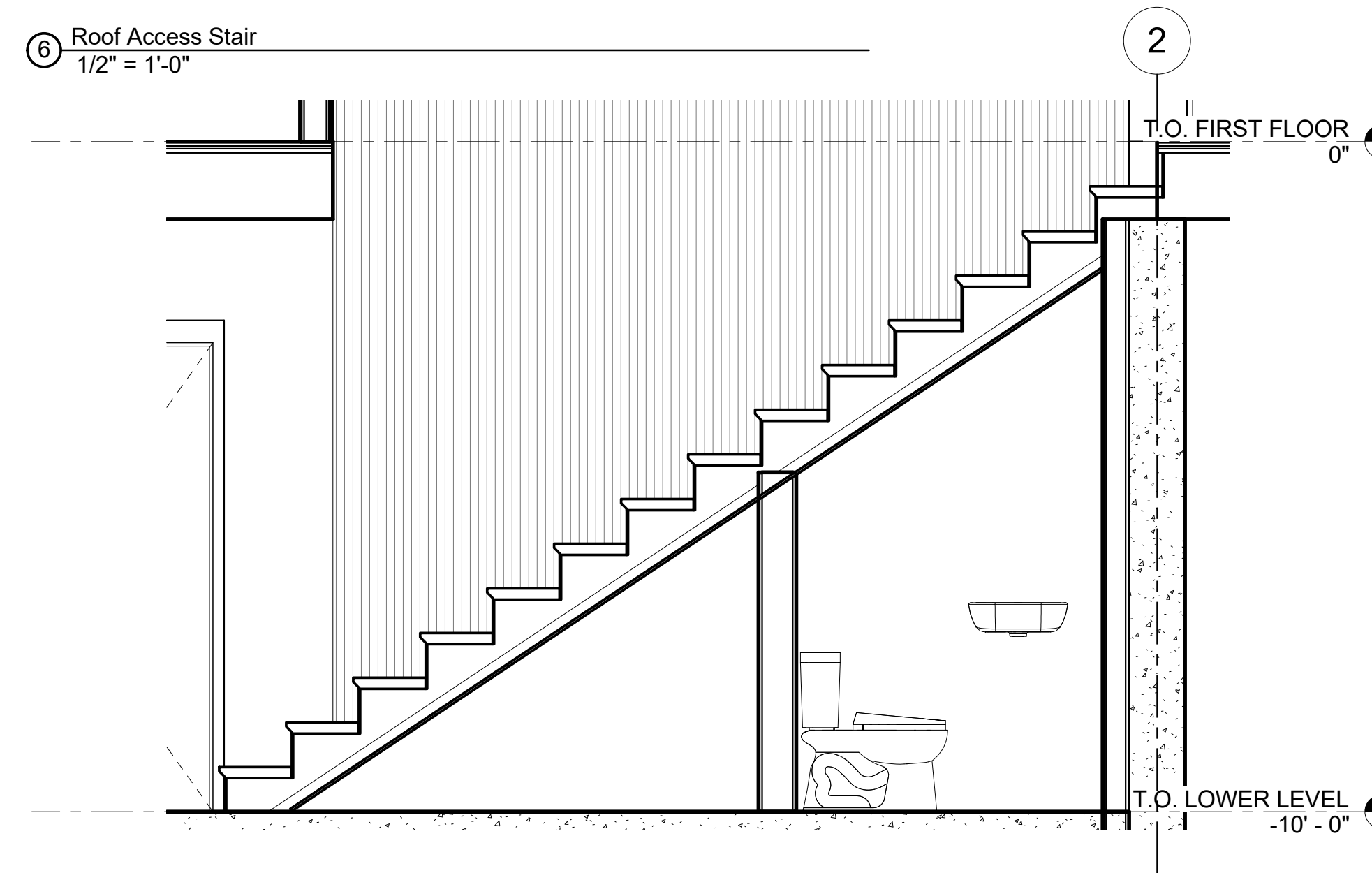
⑥ Roof Access Stair
1/2" = 1'-0"



⑧ Stair to Basement Detail
1 1/2" = 1'-0"



⑤ Detail @ Stringer/Handrail
Basement
1" = 1'-0"



③ Basement Stair
1/2" = 1'-0"

HUDSON HOUSE

STAIR DETAILS

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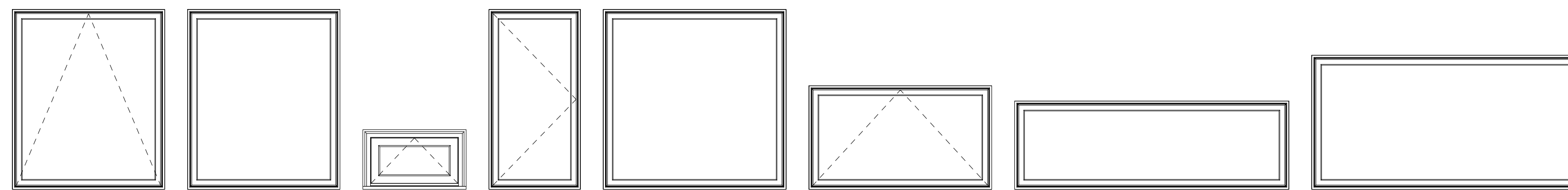
A5.15

WINDOW SCHEDULE							
TYPE	LEVEL	FROM ROOM: NAME	OPERATION	R.O. WIDTH	R.O. HEIGHT	Model	COMMENTS
1	T.O. LOWER LEVEL	GARAGE	OPERABLE	3' - 5"	3' - 11 5/8"	IAWN4147	
1	T.O. LOWER LEVEL	GARAGE	OPERABLE	3' - 5"	3' - 11 5/8"	IAWN4147	
1	T.O. LOWER LEVEL	GARAGE	OPERABLE	3' - 5"	3' - 11 5/8"	IAWN4147	
2	T.O. LOWER LEVEL	GARAGE	FIXED	3' - 5"	3' - 11 5/8"	ICAP4147	
10	T.O. LOWER LEVEL		FIXED	3' - 1"	1' - 7 5/8"	IAWN3719	
10	T.O. LOWER LEVEL		FIXED	3' - 1"	1' - 7 5/8"	IAWN3719	
1	T.O. FIRST FLOOR	BATH	OPERABLE	3' - 5"	3' - 11 5/8"	IAWN4147	
1	T.O. FIRST FLOOR	STUDIO	OPERABLE	3' - 5"	3' - 11 5/8"	IAWN4147	
1	T.O. FIRST FLOOR	STUDIO	OPERABLE	3' - 5"	3' - 11 5/8"	IAWN4147	
1	T.O. FIRST FLOOR	STUDIO	OPERABLE	3' - 5"	3' - 11 5/8"	IAWN4147	
2	T.O. FIRST FLOOR	STUDIO	FIXED	3' - 5"	3' - 11 5/8"	ICAP4147	
4	T.O. FIRST FLOOR	BATH	OPERABLE	2' - 1"	3' - 11 5/8"	ICA2547	
4	T.O. FIRST FLOOR	BEDROOM	OPERABLE	2' - 1"	3' - 11 5/8"	ICA2547	
4	T.O. FIRST FLOOR	BEDROOM	OPERABLE	2' - 1"	3' - 11 5/8"	ICA2547	
4	T.O. FIRST FLOOR	BEDROOM	OPERABLE	2' - 1"	3' - 11 5/8"	ICA2547	
4	T.O. FIRST FLOOR	MASTER BEDROOM	OPERABLE	2' - 1"	3' - 11 5/8"	ICA2547	
4	T.O. FIRST FLOOR	MASTER BEDROOM	OPERABLE	2' - 1"	3' - 11 5/8"	ICA2547	
5	T.O. FIRST FLOOR	BEDROOM	FIXED	4' - 1"	3' - 11 5/8"	ICAP4947	
5	T.O. FIRST FLOOR	BEDROOM	FIXED	4' - 1"	3' - 11 5/8"	ICAP4947	
5	T.O. FIRST FLOOR	MASTER BEDROOM	FIXED	4' - 1"	3' - 11 5/8"	ICAP4947	
5	T.O. FIRST FLOOR	MASTER BEDROOM	FIXED	4' - 1"	3' - 11 5/8"	ICAP4947	
10	T.O. FIRST FLOOR		FIXED	3' - 1"	1' - 7 5/8"	IAWN3719	
10	T.O. FIRST FLOOR		FIXED	3' - 1"	1' - 7 5/8"	IAWN3719	
11	T.O. FIRST FLOOR	BEDROOM	FIXED	6' - 1"	4' - 2 1/8"	ICAP7347	
12	T.O. FIRST FLOOR		FIXED	6' - 1"	2' - 11 5/8"	ICAP7335	
13	T.O. FIRST FLOOR		FIXED	3' - 0"	6' - 8 5/8"	ICAP3771	OPAQUE PANEL OR PAINT BEHIND GLASS
31	T.O. FIRST FLOOR		FIXED	1' - 8"	7' - 2 5/8"	ICAP TYPE	**CUSTOM SIZE
31	T.O. FIRST FLOOR	STUDIO	FIXED	1' - 8"	7' - 2 5/8"	ICAP TYPE	**CUSTOM SIZE
33	T.O. FIRST FLOOR		FIXED	7' - 6 1/16"	1' - 7 5/8"	ICAP7323	TRANSOM AT BREAKFAST NOOK
40	T.O. FIRST FLOOR		FIXED	6' - 1"	1' - 7 5/8"	ICAP7319	TRANSOM AT ENTRY CLOSET
41	T.O. FIRST FLOOR		FIXED	6' - 1"	3' - 7 5/8"	ICAP7343	TRANSOM AT ENTRY
44	T.O. FIRST FLOOR	STUDIO	OPERABLE	3' - 1"	4' - 0 9/16"	WUAWN3648	
14	T.O. ROOF ACCESS	STORAGE ROOF ACCESS	OPERABLE	4' - 1"	2' - 3 5/8"	IAWN4927	MOTORIZED
14	T.O. ROOF ACCESS	STORAGE ROOF ACCESS	OPERABLE	4' - 1"	2' - 3 5/8"	IAWN4927	MOTORIZED
39	T.O. ROOF ACCESS	STORAGE ROOF ACCESS	FIXED	6' - 1"	4' - 7 5/8"	ICAP7355	
39	T.O. ROOF ACCESS	STORAGE ROOF ACCESS	FIXED	6' - 1"	4' - 7 5/8"	ICAP7355	
39	T.O. ROOF ACCESS	STORAGE ROOF ACCESS	FIXED	6' - 1"	4' - 7 5/8"	ICAP7355	
39	T.O. ROOF ACCESS	STORAGE ROOF ACCESS	FIXED	6' - 1"	4' - 7 5/8"	ICAP7355	
45	T.O. ROOF ACCESS	STORAGE ROOF ACCESS	FIXED	3' - 5"	4' - 7 5/8"	ICAP4155	

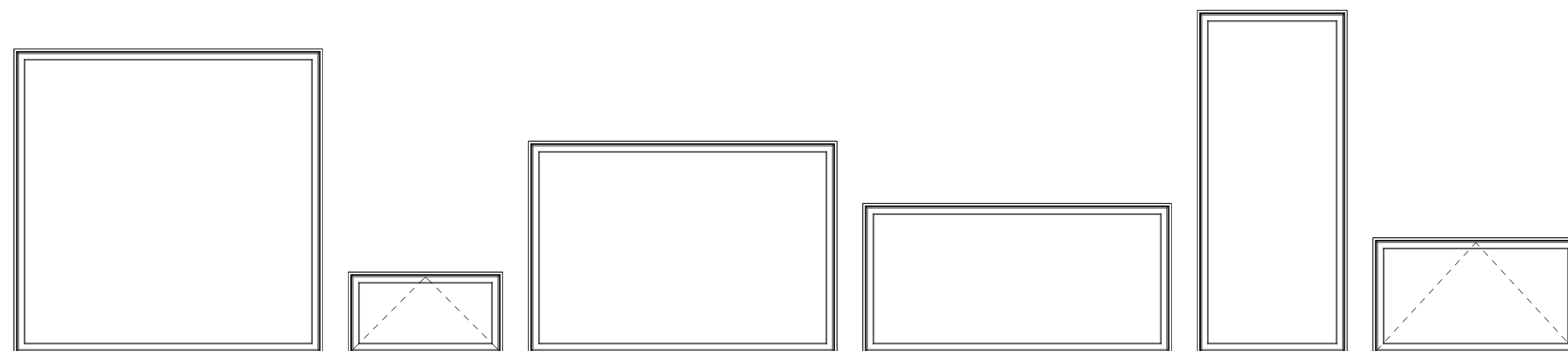
- EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- ALL GLASS LITES IN DOORS AND SIDE LITES TO BE TEMPERED AS REQUIRED.
- SAFETY GLAZING IS REQUIRED AT THE FOLLOWING LOCATIONS:
 - GLAZING IN INGRESS AND EGRESS DOOR (EXCEPT JALOUSIES).
 - GLAZING LOCATED WITHIN 40 INCHES OF A DOOR WHEN THE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN PANELS HAVING AN AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWER EDGE LESS THAN 18 INCHES ABOVE A WALKING SURFACE WITHIN 36 INCHES.
 - GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS.
- WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709.1. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB. 91.6709.1, 91.6709.4
- ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. 91.67.09.5, 91.6709.7
- PROVIDE DEAD BOLTS WITH HARDENED INSERTS: DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT. 91.6709.2
- STRAIGHT DEAD BOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEAD BOLT SHALL HAVE A MINIMUM THROW OF 3/4". 91.6709.2

- THE USE OF A LOCKING SYSTEM WHICH CONSIST OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEAD BOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEAD BOLT SHALL NOT BE SEPARATED BY MORE THAN 8"
- WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQUARE INCHES IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8" AND 3" IN WIDTH. 91.6709.1 ITEM 2
- VERIFY DOOR FRAME AND SASH DIMENSIONS WITH WOOD SIDING LAYOUT AND WINDOW DETAILS. SEE EXTERIOR ELEVATIONS.
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. 91.2406.4
 - INGRESS AND EGRESS DOORS
 - PANELS IN SLIDING OR SWINGING DOORS
 - DOORS AND ENCLOSURE FOR SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)
 - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE
 - DOORS AND ENCLOSURES FOR SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-0" OF STANDING SURFACE). 91.1115B.9.8
- ALL DOORS TO HAVE A SHEET METAL SILL PAN WITH 4" UP-TURNS AT EACH JAMB. SILL PAN TO HAVE NO PUNCTURES. ALL JAMB WATERPROOFING TO HAVE POSITIVE LAP INTO SILL PAN.
- ALL DOOR AND WINDOW OPENINGS TO BE FIELD MEASURED BY GC PRIOR TO ORDER.
- ALL GLASS TO BE TEMPERED SAFETY GLASS AS REQUIRED.
- ALL WINDOWS 72" ABOVE GRADE MUST BE A MINIMUM OF 36" ABOVE THE FINISHED FLOOR R PROVIDE REQUIRED HARDWARE.

WINDOW LEGEND



TYPE: 1 TYPE: 2 TYPE: 3 TYPE: 4 TYPE: 5 TYPE: 6 TYPE: 7 TYPE: 8



TYPE: 9 TYPE: 10 TYPE: 11 TYPE: 12 TYPE: 13 TYPE: 14

HUDSON HOUSE

WINDOW SCHEDULE & LEGEND

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 Scale 1/2" = 1'-0"

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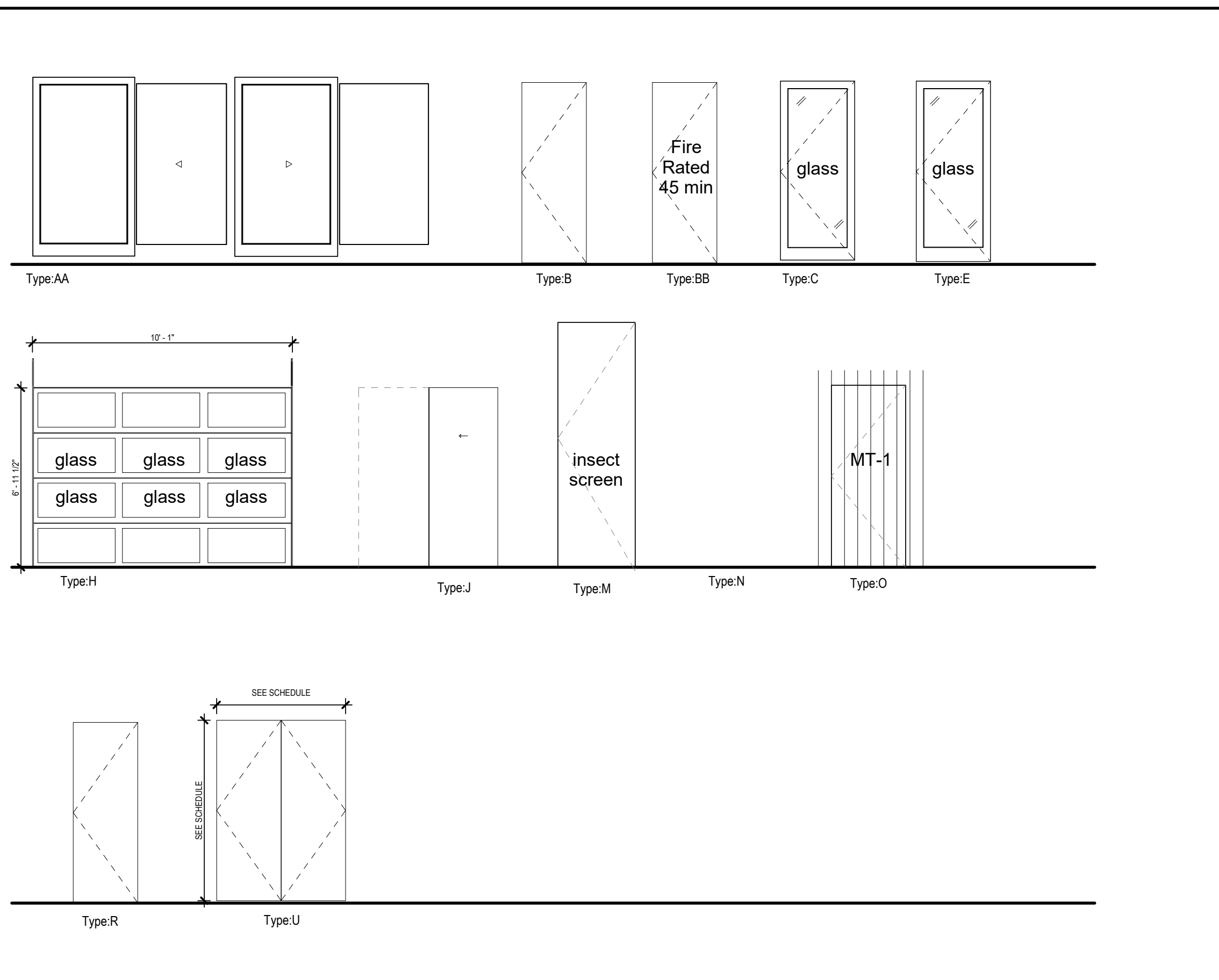
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DOOR AND FRAME SCHEDULE

MARK	TYPE	LEVEL	WIDTH	HEIGHT	Nominal Height	THICKNESS	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	FIRE RATING	COMMENTS
25	AA	T.O. FIRST FLOOR	15' - 9"	7' - 2"		1 3/4"		13/A3.07	10/A3.07		Marvin Integrity - Wood Ultrex - CN 16070
AA: 1											
2	B	T.O. FIRST FLOOR	3' - 0 5/16"	6' - 10"	6' - 8"	2"					EXTERIOR SINGLE PANEL MARVIN INTEGRITY **FRONT DOOR** (FROSTED LIGHT)
6	B	T.O. ROOF ACCESS	3' - 0 5/16"	6' - 10"	6' - 8"	2"					EXTERIOR SINGLE PANEL, BY SIMPSON *ROOF ACCESS*
B: 2											
13	BB	T.O. LOWER LEVEL	2' - 6"	7' - 0"		1 3/4"				Fire Rated 45 min	*GARAGE ENTRY TO HOUSE*
BB: 1											
4	C	T.O. FIRST FLOOR	3' - 0 5/16"	7' - 2"	7' - 0"	2"			12/A3.07	N/A	EXTERIOR SINGLE PANEL, BY SIMPSON *MUDROOM*
5	C	T.O. FIRST FLOOR	3' - 0 5/16"	7' - 2"	7' - 0"	2"			12/A3.07	N/A	EXTERIOR SINGLE PANEL, BY SIMPSON *LAUNDRY*
C: 2											
21	CC	T.O. FIRST FLOOR	2' - 8"	7' - 0"		1 3/8"					
CC: 1											
15	E	T.O. LOWER LEVEL	3' - 0 5/16"	7' - 2"	7' - 0"	2"					EXTERIOR SINGLE PANEL *LOWER ENTRY*
E: 1											
h	H	T.O. LOWER LEVEL	10' - 0"	7' - 0"		1 1/2"					EXTERIOR GARAGE (MIDDLE TWO GLASS PANELS, INSULATED)
H: 1											
17	J	T.O. FIRST FLOOR	2' - 8"	7' - 0"		1 3/8"					
18	J	T.O. FIRST FLOOR	2' - 8"	7' - 0"		1 3/8"					
J: 2											
20	M	T.O. FIRST FLOOR	2' - 11"	9' - 5 113/128"			2/A3.07				SCREENED-IN PORCH DOORS, ALTERNATE 7'-0" HT IF NECESSARY
22	M	T.O. FIRST FLOOR	2' - 11"	9' - 5 113/128"			2/A3.07				SCREENED-IN PORCH DOORS, ALTERNATE 7'-0" HT IF NECESSARY
M: 2											
3	O	T.O. FIRST FLOOR	2' - 6"	7' - 0"		1 3/4"					SOLID DOOR, CLAD ENTIRE DOOR TO MATCH ADJACENT METAL
O: 1											
7	R	T.O. FIRST FLOOR	2' - 6"	7' - 0"		1 3/4"	1/A3.07	1/A3.07			
8	R	T.O. FIRST FLOOR	2' - 6"	7' - 0"		1 3/4"	1/A3.07	1/A3.07			
10	R	T.O. FIRST FLOOR	2' - 6"	7' - 0"		1 3/4"	1/A3.07	1/A3.07			
11	R	T.O. FIRST FLOOR	2' - 6"	7' - 0"		1 3/4"	1/A3.07	1/A3.07			
14	R	T.O. LOWER LEVEL	2' - 6"	7' - 0"		1 3/4"	1/A3.07	1/A3.07			
26	R	T.O. LOWER LEVEL	2' - 6"	7' - 0"		1 3/4"					
R: 6											
23	U	T.O. FIRST FLOOR	3' - 0"	7' - 0"		1 1/2"					
24	U	T.O. FIRST FLOOR	3' - 0"	7' - 0"		1 1/2"					
U: 2											
TOTAL: 22											

DOOR TYPE LEGEND



HUDSON HOUSE

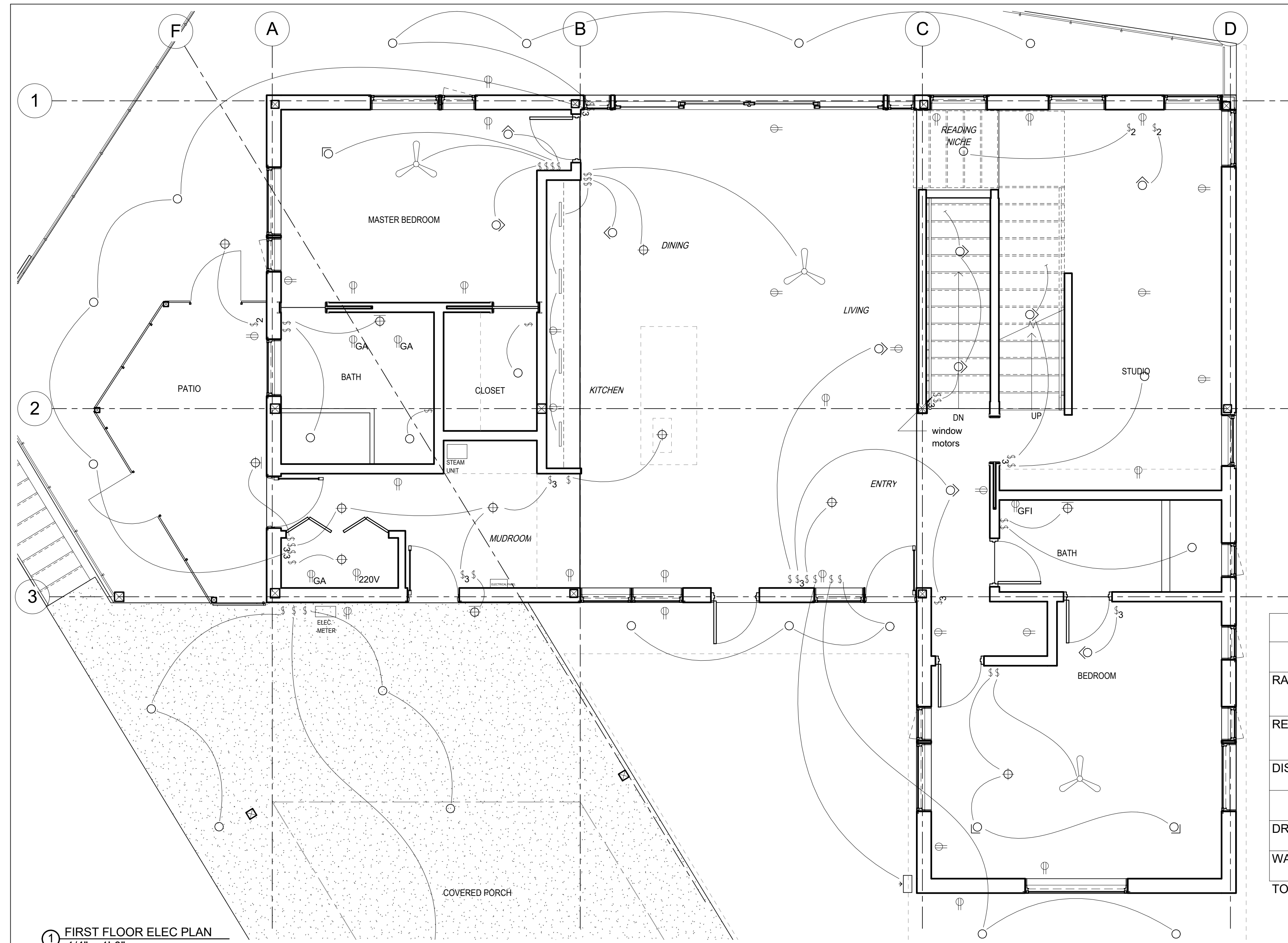
DOOR
SCHEDULE &
LEGEND

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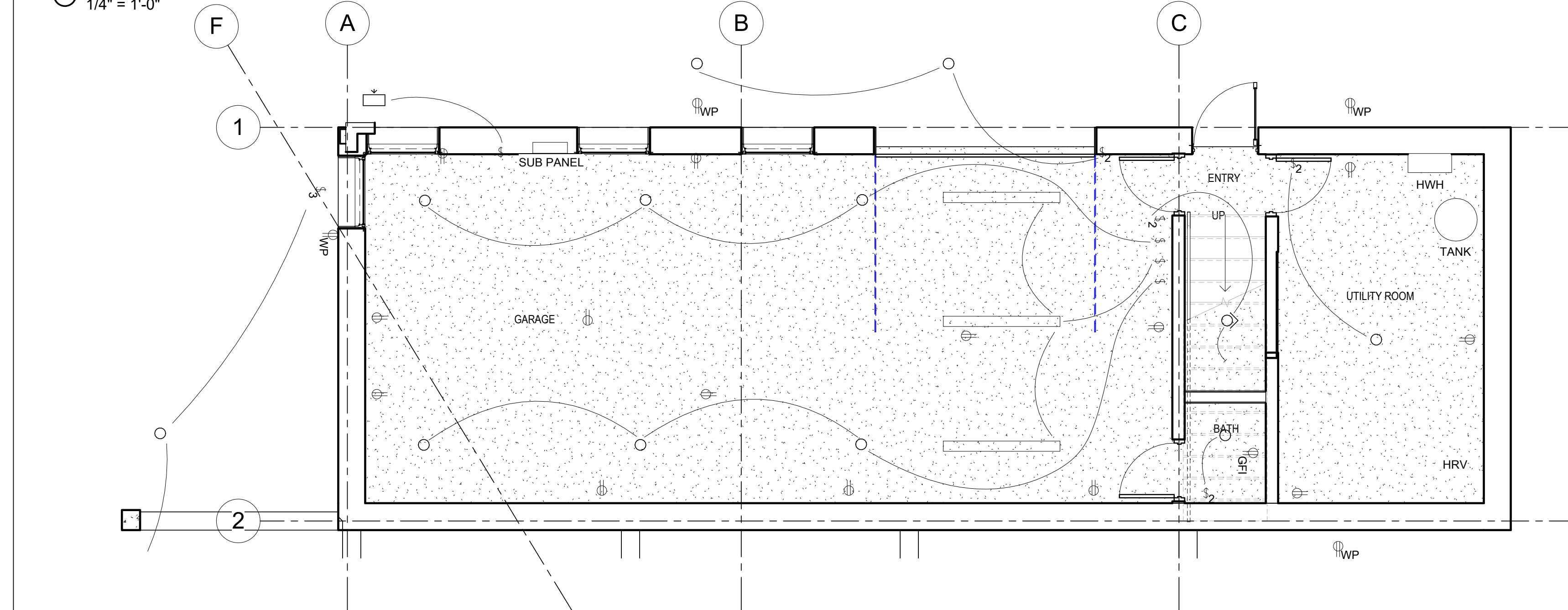
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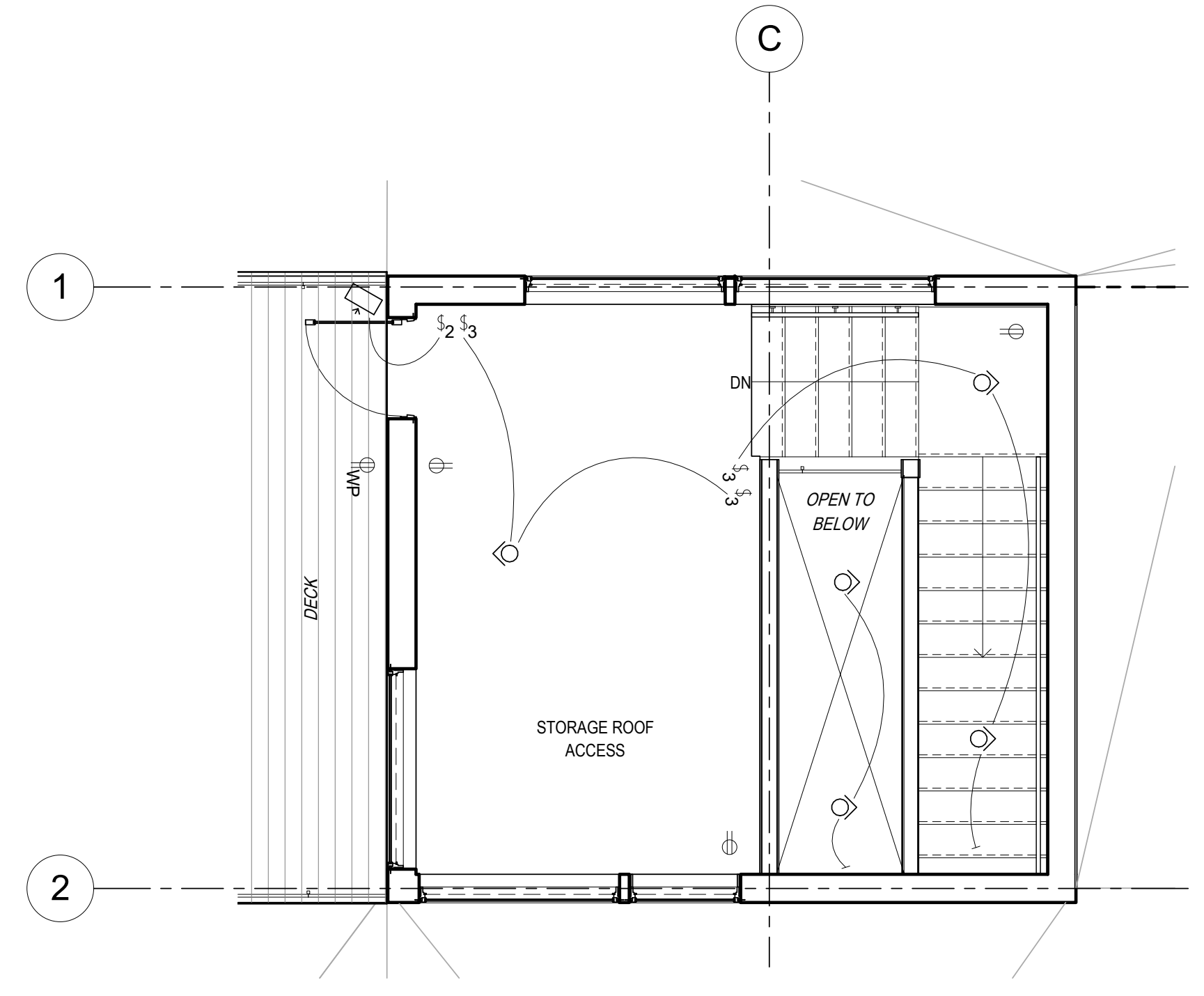
1 FIRST FLOOR ELEC PLAN
1/4" = 1'-0"

ELECTRICAL SYMBOLS	
	THREE-WAY SWITCH
	DUPLEX OUTLET
	220 VOLT OUTLET
	GFI DUPLEX OUTLET
	WATER PROOF DUPLEX OUTLET
	SECURITY FLOOD LIGHT
	RECESSED LIGHT
	DIRECTIONAL RECESSED LIGHT
	PENDANT
	WALL PENDANT
	ELECTRICAL PANEL
	STRIP LIGHTING
	UTILITY LAMP
	CEILING FAN

APPLIANCE SCHEDULE							
Appliance	Level	Type	Manufacturer	Model	Finish	Type Comments	MRC Cost
RANGE	T.O. FIRST FLOOR	30" x 26"	BERTAZZONI	PRO304GASX, LP	STAINLESS STEEL	W29 13/16xH36 x25 3/16	\$3349.00
REFRIGERATOR	T.O. FIRST FLOOR	REF. FISHER PAYKEL_W31.125xD 27.375xH67.5	Fisher Paykel	RF170ADX4	Refrigerator		\$2094.00
DISHWASHER	T.O. FIRST FLOOR	24" x 24" x 34"	BOSCH	SHXM98W75N	STAINLESS STEEL		\$1199.00
T.O. FIRST FLOOR Soupper and Collector Boxes Metal Era, Inc. Thru-Wall Soupper Thru-Wall Scupper							
DRYER	T.O. FIRST FLOOR	27" X 39" X 31"	WHIRLPOOL	WED92HEFW	WHITE		\$1199.00
WASHER	T.O. FIRST FLOOR	27" X 39" X 33"	WHIRLPOOL	WFW92HEFW	WHITE		\$1199.00
TOTAL: 6							



2 BASEMENT ELEC PLAN
1/4" = 1'-0"



3 ROOF ELEC PLAN
1/4" = 1'-0"

HUDSON HOUSE

ELECTRICAL PLANS

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Date 03.02.2018

Scale As indicated

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PLUMBING FIXTURE SCHEDULE

Level	Type Comments	Manufacturer	Model	Description	Finish	MNFR Cost	Comments
T.O. ROOF ACCESS							
T.O. ROOF ACCESS							
T.O. ROOF ACCESS							
T.O. ROOF ACCESS							
T.O. LOWER LEVEL	GARAGE			PROVIDED BY OWNER	ST STL	\$0.00	CONFIRM ALL INSTALL DETAILS
T.O. LOWER LEVEL	GARAGE BATH	Duravit	07054500002	HANDRINSE BASIN 17 3/4" D-CODE WHITEWITH OF, WITH TP, 1 TH		\$94.25	
T.O. LOWER LEVEL	GARAGE BATH	TOTO USA, Inc.	CST743E	Close Coupled Toilet	COTTON	\$384.00	Drake® Two-Piece Toilet.1.6 GPF, Round Bowl \$334 + SS113 SoftClose® seat \$40
T.O. FIRST FLOOR		Kohler Company	K-2882-0	Verticyl Rectangular Undermount Bathroom Sink, White			
T.O. FIRST FLOOR		Toto	LT401#01	SR LAV 20X17 1H WHT		\$47.79	
T.O. FIRST FLOOR	BATH	GEBERIT	B01C7FL4PK	Geberit 111.798.00.1 Concealed Toilet Carrier Frame with Dual-Flush Tank		\$300.00	
T.O. FIRST FLOOR	BATH	GEBERIT	B01C7FL4PK	Geberit 111.798.00.1 Concealed Toilet Carrier Frame with Dual-Flush Tank		\$300.00	
T.O. FIRST FLOOR	BATH	Duravit	254409	NEW DARLING ELONGATED WALL HUNG TOILET ONLY, WHITE	WHITE	\$386.75	+SAMBA DUAL FLUSH PLATE 115770115 \$68.25 + dURAVIT ELONGATED WHITE TOILET SEAT COVER, 0063390000 \$104
T.O. FIRST FLOOR	BATH	Duravit	254409	NEW DARLING ELONGATED WALL HUNG TOILET ONLY, WHITE	WHITE	\$386.75	
T.O. FIRST FLOOR	GARAGE	T&S	B-0331-CR4-L22	T&S BRASS 8IN WALL MOOUNT FAUCET, CERAMAS, 4IN HANDLES, SWIVEL GOOSENECK, 2.2 GPM LAMINAR OUTLET DEVISE	CHROME	\$198.77	
T.O. FIRST FLOOR	GUEST BATH	Duravit	720131	SHOWER TRAY STARCK, SLIMLINE, 63"x35 3/8"	WHITE	\$640.25	
T.O. FIRST FLOOR	GUEST BATH	KOHLER Co.	K-14406-4-CP	Purist Widespread Bathroom Sink Faucet		\$330.12	
T.O. FIRST FLOOR	KITCHEN	ELKAY	EGUH281610RDBG	UNDERMOUNTED STAINLESS STEEL KITCHEN SINK	ST STL	\$578.80	
T.O. FIRST FLOOR	KITCHEN	Delta Faucet Company	9913-DST	Essa Kitchen, Bar Faucet, Polished Chrome		\$205.11	
T.O. FIRST FLOOR	LAUNDRY	MUSTEE	24C	UTILATWIN COMBO LAUNDRY TUB FAAUCET SUPLY LINE P-TRAP		\$254.59	
T.O. FIRST FLOOR	MASTER BATH	Kohler	K-13689	10in Contemporary round rainhead with Katalyst spray technology	CHROME	\$317.04	+SHOWERARM/6" CEILING MOUNT, 7394-CP, \$53.70
T.O. FIRST FLOOR	MASTER BATH	Kohler	K-973-CP-Polished Chrome	Purist®Multi-function Handshower K-973	CHROME	\$93.45	+60" MASTERSHOWER HOSE, 9514-CP, \$39.99 & 24 3/4 SHOWER SLIDEBAR, 9069-CP, \$113.64 & SLIDEBAR TRIM, 974-CP, \$18.42 & STILLNESS SUPPLY ELBOW, 976-CP, \$70.71
T.O. FIRST FLOOR	MASTER BATH	KOHLER Co.	K-14406-3-CP	Purist Widespread Bathroom Sink Faucet		\$330.12	
T.O. FIRST FLOOR	GUEST BATH	KOHLER	K-9479-0	ARCHER, 60" X 36" SHOWER TRAY, CENTER DRAIN		\$614.05	

TOTAL: \$15,482.72 **SEE SECURITY PLUMBING & HEATING SUPPLY QUOTATION '18 0222 S4689135-0001_46027.PDF' DATED: 2/22/18

Plumbing Notes

Plumbing trades shall provide complete waste, hot and cold water supply, and all hookups to plumbing fixtures.

Plumber shall refer to architectural floor plans for scope and location of fixture hookups.

Plumbing work shall include installation of sanitary waste system to existing house trap.

Plumbing work shall comply with all applicable codes and utility company necessary hookups appliances.

PROVIDE FLUSH MOUNTED FLOOR DRAIN AT CENTER OF BASEMENT LOCATION, VIF LOCATION WITH ARCHITECT.

Heating and Domestic Hot Water

All spaces to be heated by a gas-fired on-demand boiler and a 6 zone hot water radiant floor system.

Contractor shall furnish and install new heat system in accordance with the following: Heating equipment shall be capable of maintaining 68 degrees F indoors with 0 degrees F and 15 mph wind outdoors at 6,000 degree days.

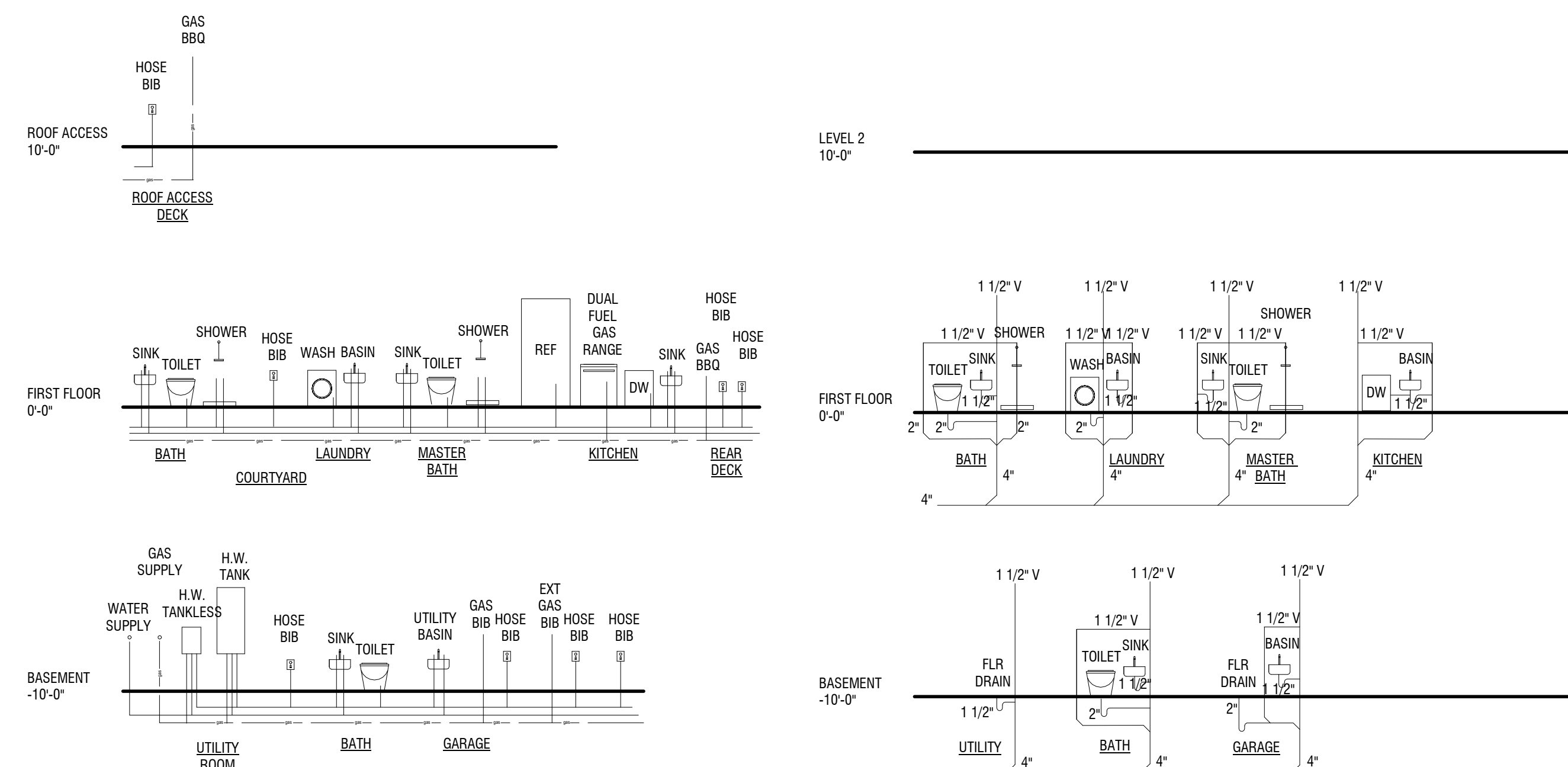
All pipes shall be sized and installed with water velocity and pressure drop not to exceed ASHRAE standards. A limit of 20 degrees F temperature drop shall be used as a guideline to design each loop of hot water supply and return. All pipes located in insulated floor structure to have foam pipe insulation; all piping passing through wooden joists and studs to be isolated from wood components with foam pipe insulation.

Contractor will be asked to submit to the architect catalog cuts and specifications for the heating and domestic hot water equipment for approval prior to the ordering or installation of same. All equipment to be by major manufacturers recognized for quality products in the industry.

It is the intent of this specification to provide complete systems, in perfect working order, ready for occupancy.

Contractor shall be responsible for the startup of heating and domestic hot water systems.

All warranties to be provided to the Owner prior to Contract completion.



1 PLUMBING RISER DIAGRAM
1/4" = 1'-0"

HUDSON HOUSE

PLUMBING SCHEDULE & NOTES

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